



**CITY COMMISSION
AGENDA
City Hall Commission Chambers
300 W. Plant Street
Winter Garden, Florida**

Regular Meeting

April 9, 2026

6:30 PM

Call to Order

Determination of a Quorum

Invocation and Pledge of Allegiance

1. Approval of Minutes

A. Regular Meeting Minutes – March 26, 2026

2. PRESENTATION

A. New Police Officers – **Police Chief Graham**

B. **Proclamation 26-02**: Florida’s Water Conservation Month – **Mayor Rees**

C. **Proclamation 26-04**: World Autism Month and Awareness Day – **Mayor Rees**

D. 2026 Drop Savers Poster Contest Winners – **Sustainability & Community Liaison Corbus**

3. FIRST READING AND PUBLIC HEARING OF PROPOSED ORDINANCE

A. **ORDINANCE 26-10**: AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING CHAPTER 14, SECTION 14-1 OF THE CITY CODE TO REPEAL AND REPLACE EXISTING ANIMAL CONTROL PROVISIONS AND TO ADOPT THE ORANGE COUNTY ANIMAL SERVICES ORDINANCE, AS AMENDED FROM TIME TO TIME, BY REFERENCE; AMENDING CHAPTER 14, SECTION 14-2 TO ESTABLISH CITYWIDE LEASH AND DIRECT CONTROL REQUIREMENT FOR ANIMALS IN PUBLIC SPACES; AMENDING CHAPTER 27, SECTION 27-9 RELATING TO DOMESTIC ANIMALS IN PARKS AND RECREATION FACILITIES; AMENDING CHAPTER 118, ARTICLE XII, SECTION 118-1612 RELATING TO THE DOG FRIENDLY DINING PROGRAM; PROVIDING FOR SEVERABILITY; PROVIDING FOR CONFLICTS; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE – **Second reading and public hearing April 23, 2026** – **Economic Director Hutchinson**

4. SECOND READING AND PUBLIC HEARING OF PROPOSED ORDINANCES

- A. **ORDINANCE 26-01**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 1.50 ± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD, AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, INTO THE CITY OF WINTER GARDEN, FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- B. **ORDINANCE 26-02**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.50 ± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY LOW DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- C. **ORDINANCE 26-03**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.50± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, FROM ORANGE COUNTY A-1 (CITRUS RURAL DISTRICT) TO CITY PUD (PLANNED UNIT DEVELOPMENT) AS SET FORTH IN THIS ORDINANCE; PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE NEW LIFE SLAVIC CHURCH PUD; AND PROVIDING FOR SEVERABILITY; CONFLICTS AND AN EFFECTIVE DATE – **Planning Director Carson**

5. REGULAR BUSINESS

- A. Recommendation to approve purchase of meridian barriers and trailers in the amount of **\$483,170.72** – **Police Chief Graham**
- B. Recommendation to approve **SITE PLAN** for 1600 Daniels Road (Center for Digestive Health), subject to conditions – **Planning Director Carson**
- C. Recommendation to issue Purchase Order to T.D. Thomson Construction, Inc. for Percolation Pond Repair in the amount of **\$203,712.19**, which includes a 10% contingency – **City Engineer Monahan**
- D. Recommendation to issue Purchase Order to T.D. Thomson Construction, Inc. in the amount of **\$131,831.33** for additional parking on West Plant Street – **City Engineer Monahan**
- E. Recommendation to approve **SPECIAL EVENT** – Winter Garden Police Athletic League – Donut Dash 5K run on Saturday, November 7, 2026, from 7:00 to 11:00 a.m. – **Planning Director Carson**

6. **Matters From Public - (Limited to 3 minutes per speaker)**
7. **Matters From City Attorney - A. Kurt Ardaman**
8. **Matters From City Manager - Jon C. Williams**
9. **Matters From Mayor and Commissioners**
10. **Adjourn Regular Meeting on Thursday, April 23, 2026 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, 1st floor**

NOTICES:

In accordance with Florida Statutes 286.0105, if any person decides to appeal any decision made by said body with respect to any matter considered at such meeting, he/she will need a record of the proceedings and, for that purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. The City of Winter Garden does not prepare or provide such record.

Any opening invocation that is offered before the official start of the Commission meeting shall be the voluntary offering of a private person, to and for the benefit of the Commission. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Commission or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Commission meeting are invited to stand during the opening invocation and to stand and recite the Pledge of Allegiance. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Commission Chambers or exit the City Commission Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance. (Reference Resolutions 15-04 and 16-02)

Pursuant to Florida Statutes 282.601, 286.603, and the Americans with Disabilities Act (ADA), the City of Winter Garden makes every effort to ensure that those with disabilities have access to electronic information provided to the public, except when compliance with those sections impose an undue burden on the agency. In the event of difficulty accessing this publicly provided information, please contact the City Clerk's Office at (407) 656-4111, Ext. 6327, for assistance.



Those needing assistance to participate in any of these proceedings should contact the City Clerk's Office at least 48 hours in advance of the meeting (407) 656-4111 Ext 6327.



Help for the hearing impaired is available through the Assistive Listening System. Receivers can be obtained at the meeting from the Information Technology Department (407) 656-4111 Ext. 5455.



Minutes
City Commission
March 26, 2026, 6:30 p.m.

A Regular Meeting of the City of Winter Garden City Commission was called to order by Mayor Rees at 6:31 p.m. at City Hall, 300 West Plant Street, Winter Garden, Florida. An Opening Invocation and Pledge of Allegiance were given.

Present:

Mayor John Rees
Commissioner District 2 - Iliana R. Jones
Commissioner District 3 - Chloe Johnson
Commissioner District 4 - Colin Sharman

Also Present:

City Manager Jon C. Williams
City Attorney Kurt Ardaman
Interim City Clerk Ronisha Martin

Absent:

Commissioner District 1 - Lisa L. Bennett

1. Approval of Minutes

- A. Regular Meeting Minutes – March 12, 2026

Motion by Commissioner Jones to approve the regular meeting minutes of March 12, 2026. Seconded by Commissioner Johnson and carried unanimously 4-0

2. PRESENTATION

- A. Legislative Updates – Representative Leonard Spencer

Representative Leonard Spencer provided a legislative update, stating that the session has been extended due to ongoing budget negotiations. He discussed legislation impacting local governments, including limits on Diversity, Equity, and Inclusion (DEI) initiatives, a required 10% budget reduction exercise, and a proposal to eliminate homestead property taxes. He noted that eliminating property taxes could shift costs to fees and impact essential services.

Mr. Spencer also highlighted legislation related to tax measures, liability caps, advanced transportation (vertiports), veteran housing, e-bike safety, and per- and polyfluoroalkyl substances (PFAS) regulations, commonly referred to as “forever chemicals,” and noted approximately \$3.2 million in proposed local funding.

Mayor Rees expressed concern that residents may not fully understand the financial impacts and that the changes could create additional strain on city operations and budgeting, including a potential shift toward increased fees.

3. SECOND READING AND PUBLIC HEARING OF PROPOSED ORDINANCES

- A. **Ordinance 26-01**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 1.50 ± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD, AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, INTO THE CITY OF WINTER GARDEN, FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- B. **Ordinance 26-02**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.50 ± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY LOW DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- C. **Ordinance 26-03**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.50± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, FROM ORANGE COUNTY A-1 (CITRUS RURAL DISTRICT) TO CITY PUD (PLANNED UNIT DEVELOPMENT) AS SET FORTH IN THIS ORDINANCE; PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE NEW LIFE SLAVIC CHURCH PUD; AND PROVIDING FOR SEVERABILITY; CONFLICTS AND AN EFFECTIVE DATE

City Attorney Kurt Ardaman read ordinances 26-01, 26-02 and 26-03 by title only. Planning Director Kelly Carson requested that the ordinances be tabled to the next City Commission meeting on April 9, 2026.

Motion by Commissioner Johnson to table Ordinances 26-01, 26-02, and 26-03 to April 9, 2026, City Commission Meeting at 6:30. p.m. Seconded by Commissioner Sharman and carried unanimously 4-0.

- D. **Ordinance 26-06**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 2.88 ± ACRES LOCATED AT 761 GARDEN COMMERCE PARKWAY, GENERALLY LOCATED NORTH OF WEST COLONIAL DRIVE, EAST OF GARDEN COMMERCE PARKWAY, WEST OF CARTER ROAD AND SOUTH OF EAST STORY ROAD, FROM MULTI OFFICE INDUSTRIAL TO COMMERCIAL; PROVIDING FOR

SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

- E. **Ordinance 26-06**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 2.88 ± ACRES LOCATED AT 761 GARDEN COMMERCE PARKWAY, GENERALLY LOCATED NORTH OF WEST COLONIAL DRIVE, EAST OF GARDEN COMMERCE PARKWAY, WEST OF CARTER ROAD AND SOUTH OF EAST STORY ROAD, FROM MULTI OFFICE INDUSTRIAL TO COMMERCIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE
- F. **Ordinance 26-07**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING ORDINANCE 13-42, BY REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 2.88 ± ACRES LOCATED AT 761 GARDEN COMMERCE PARKWAY GENERALLY LOCATED NORTH OF WEST COLONIAL DRIVE, EAST OF GARDEN COMMERCE PARKWAY, WEST OF CARTER ROAD AND SOUTH OF EAST STORY ROAD FROM PID (PLANNED INDUSTRIAL DEVELOPMENT), TO PCD (PLANNED COMMERCIAL DEVELOPMENT); PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE

City Attorney Kurt Ardaman read Ordinances 26-06 and 26-07 by title only. Planning Director Kelly Carson stated that the applicant is requesting to amend the Future Land Use designation from Multi-Office Industrial (MOI) to Commercial (COM) and to rezone the property located at 761 Garden Commerce Parkway from Planned Industrial Development (PID) to Planned Commercial District (PCD). She noted that the proposed PCD changes will allow for additional commercial uses, including medical offices, personal services, studios, retail, and pet care facilities. She further noted that the property is already developed, and no site plan changes are required to accommodate the proposed uses. Staff recommended approval.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Jones to adopt Ordinances 26-06 and 26-07. Seconded by Commissioner Johnson and carried unanimously 4-0.

- G. **Ordinance 26-09**: AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING THE OAKLAND PARK PUD APPROVED BY ORDINANCE 05-26 AS PREVIOUSLY AMENDED BY ORDINANCE 12-08, BY REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.93 +/- ACRES LOCATED AT 15411, 15540 AND 15541 EAST OAKLAND AVENUE AND 841 TILDEN OAKS TRAIL; FROM PUD (PLANNED UNIT DEVELOPMENT) TO PCD (PLANNED COMMERCIAL DEVELOPMENT) PROVIDING FOR CERTAIN PCD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS MCKINNON SQUARE; AND PROVIDING FOR SEVERABILITY, CONFLICTS AND AN EFFECTIVE DATE

City Attorney Kurt Ardaman read Ordinance 26-09 by title only. Planning Director Kelly Carson stated that the applicant is requesting to rezone the subject properties from

Planned Unit Development (PUD) to Planned Commercial Development (PCD) to allow four mixed-use buildings, with commercial uses on the first floor and residential units above, totaling approximately 12,515 square feet of commercial space and twelve dwelling units. She noted that the request is consistent with the Oakland Park PUD and that the PCD will further define permitted uses and development standards. Staff recommended approval.

There was discussion regarding whether any concerns had been raised by nearby residents. It was noted that no additional concerns had been received.

Mayor Rees opened the public hearing; hearing and seeing none, he closed the public hearing.

Motion by Commissioner Johnson to adopt Ordinances 26-09. Seconded by Commissioner Sharman and carried unanimously 4-0.

Legislative updates were presented at this point in the meeting.

4. **Matters From Public** - There were no items.
5. **Matters From City Attorney** There were no items.
6. **Matters From City Manager**

City Manager Jon C. Williams reminded everyone of the upcoming Evening at the Pops event, noting the park will open at 5:00 p.m. with the concert beginning at 7:00 p.m. He also announced the opening of a new downtown parking lot located at 695 West Plant Street, on the former CenturyLink/Lumen site, which includes approximately fifty-three parking spaces, including accessible spaces and additional spaces for larger vehicles.

7. **Matters From Mayor and Commissioners**

Commissioner Illiana R. Jones thanked staff and first responders and wished everyone a great weekend.

Commissioner Chloe Johnson thanked staff and first responders, stating that their hard work deserved to be acknowledged.

Commissioner Colin Sharman presented a video regarding the AdventHealth Winter Garden hospital expansion and cancer center, noting the project initially raised community concerns but was improved through collaboration between the city, hospital representatives, and residents. He stated the cancer center will provide accessible, local treatment and support for patients and their families.

He shared personal remarks on the impact of cancer, noting the loss of family members, and emphasized the importance of the facility to the community. He invited everyone to participate in a moment of recognition for those affected by cancer, followed by a prayer.

8. Adjourn

The meeting adjourned at 7:04 p.m.

APPROVED:

Mayor John Rees

ATTEST:

Interim City Clerk Ronisha Martin

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Graham, Police Chief

Via: City Manager Jon C. Williams

Date: March 31, 2026

Meeting Date: April 9, 2026

Subject: Oath of Office and Introduction of New Officers

Issue: Chief Graham requests to introduce and administer the oath of office to new officers.

Recommended action: Authorize Chief Graham to do this after the APPROVAL OF MINUTES portion of the agenda.

Attachment:



Proclamation 26-02

Whereas, water is a basic and essential need of every living creature; and

Whereas, The State of Florida, Water Management Districts and the City of Winter Garden are working together to increase awareness about the importance of water conservation; and

Whereas, the City of Winter Garden and the State of Florida has designated April, typically a dry month when water demands are most acute, Florida's Water Conservation Month, to educate citizens about how they can help save Florida's precious water resources; and

Whereas, the City of Winter Garden has always encouraged and supported water conservation, through various educational programs and special events; and

Whereas, every business, industry, school and citizen can make a difference when it comes to conserving water; thus promoting a healthy economy and community; and

Whereas, outdoor irrigation comprises a large portion of water use, the City of Winter Garden will encourage citizens and businesses to focus on improving outdoor irrigation efficiency;

Therefore, it is my great pleasure and privilege as the Mayor of the City of Winter Garden to proclaim the month of April 2026 as

Florida's Water Conservation Month

and call upon the residents and businesses of Winter Garden to do their share to protect this precious resource by practicing water-saving measures and becoming more aware of the need to save water. For this, the 27th year of Water Conservation Month, there will be a special focus on ensuring irrigation systems are operating effectively and efficiently.



In witness whereof, I have hereunto set my hand and caused the City seal to be affixed this 9th day of April 2026.

Mayor John Rees

Attest:

Ronisha Martin

Ronisha Martin, Interim City Clerk





**Proclamation
26-04**

Whereas, Autism Spectrum Disorders are a broad range of conditions characterized by repetitive patterns of behavior and challenges with social skills, speech and nonverbal communication; and

Whereas, Autism Spectrum Disorders affect at least one in thirty-one children and an unknown number of adults in the United States of all genders, races, ethnicities, and socioeconomic backgrounds; and

Whereas, early, accurate diagnosis and appropriate education, intervention, and support are vital to the well-being of those with Autism Spectrum Disorders; and

Whereas, persons with an Autism Spectrum Disorder should have access to the care, services, and opportunities needed to be happy and achieve their greatest potential; and

Whereas, the City of Winter Garden is honored to take part in the annual observance of World Autism Month and World Autism Awareness Day with the hope that it will lead to more research and better understanding and acceptance of Autism Spectrum Disorder.

Therefore, it is my great pleasure and privilege as the Mayor of the City of Winter Garden, to proclaim

April 2026 as **WORLD AUTISM MONTH**
and April 2, 2026 as **WORLD AUTISM AWARENESS DAY**

in Winter Garden to raise public acceptance and understanding of Autism Spectrum Disorder, as well as to increase knowledge of the efforts that have been and are being made to support individuals with Autism Spectrum Disorder and their families.



In witness whereof, I have hereunto set my hand and caused the City Seal to be affixed this 9th day of April, 2026.

John Rees
Mayor John Rees

Attest:

Ronisha Martin

Ronisha Martin, Interim City Clerk



The City of Winter Garden
City Commission Agenda Item

From: Donna Corbus, Sustainability & Community Liaison

Via: Jon C. Williams, City Manager

Date: March 13, 2026

Meeting Date: April 9, 2026

Subject: Drop Savers Poster Contest Winners

Every year, the Florida Section of the American Water Works Association (FSAWWA) sponsors the “Drop Savers” Water Conservation Poster Contest. Students from Kindergarten to 12th grade are encouraged to create a poster depicting a water conservation idea in slogan form, drawing form or both. This contest allows students to promote water awareness and the importance of water conservation in their daily lives. This year, 138 students participated. A panel of judges selected the winning posters based on the following criteria: message, creativity and originality, not just artistic ability.

Division 1 Winner – Caitlyn Bryant, 1st Grade- StarChild Academy

Division 2 Winner – Shriya Cheripalli, 3rd Grade- StarChild Academy

Division 3 Winner – Victoria Okuneye, 5th Grade, StarChild Academy

Division 4 Winner – Mercedes Jones, 6th Grade, Foundation Academy

Division 5 Winner – Delilah Swingler, 12th Grade, South Lake Home Educators

Three posters also received Honorable Mention recognition:

Cedric Davis III, 2nd Grade, StarChild Academy

Kaleb Diniz, 6th Grade, Imagine South Lake

Camryn Hardy, 7th Grade, Foundation Academy

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Marc Hutchinson, Economic Development Director

Via: City Manager Jon C. Williams

Date: March 30, 2026 **Meeting Date:** April 9, 2026

Subject: **Ordinance 26-10**

Issue: Ordinance 26-10 amending City of Winter Garden Code of Ordinances Chapter 14, Section 14-1 & 14-2; Chapter 27, Section 27-9; and Chapter 118, Article 118-1612.

Discussion:

Ordinance 26-10 would amend City of Winter Garden Code of Ordinances Chapters 14, 27, and 118 to repeal and replace existing animal control provisions and to adopt the Orange County animal services ordinance, to establish citywide leash and direct control requirement for animals in public spaces, redefine requirements relating to domestic animals in parks and recreation facilities and refine requirements relating to the dog friendly dining program.

The purpose of this ordinance is to reinforce regulations around public safety and health to more effectively regulate control of dogs, cats and other animals regarding use of leashes, owner control in public spaces, and certain restrictions for animals in parks and recreational facilities.

Recommended Action:

Staff recommends approval of Ordinance 26-10 with the second reading and adoption anticipated to be on April 23, 2026.

Attachment(s)/References:

Ordinance 26-10
Business Impact Estimate

ORDINANCE 26-10

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF WINTER GARDEN, FLORIDA, AMENDING CHAPTER 14, SECTION 14-1 OF THE CITY CODE TO REPEAL AND REPLACE EXISTING ANIMAL CONTROL PROVISIONS AND TO ADOPT THE ORANGE COUNTY ANIMAL SERVICES ORDINANCE, AS AMENDED FROM TIME TO TIME, BY REFERENCE; AMENDING CHAPTER 14, SECTION 14-2 TO ESTABLISH CITYWIDE LEASH AND DIRECT CONTROL REQUIREMENT FOR ANIMALS IN PUBLIC SPACES; AMENDING CHAPTER 27, SECTION 27-9 RELATING TO DOMESTIC ANIMALS IN PARKS AND RECREATION FACILITIES; AMENDING CHAPTER 118, ARTICLE XII, SECTION 118-1612 RELATING TO THE DOG FRIENDLY DINING PROGRAM; PROVIDING FOR SEVERABILITY; PROVIDING FOR CONFLICTS; PROVIDING FOR CODIFICATION; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City of Winter Garden (“City”) has long regulated animal control by adopting the Orange County Animal Services Ordinance by reference; and

WHEREAS, Section 14-1 of the City Code references the City’s adoption of Orange County Animal Services Ordinance No. 95-32, which provides for enforcement and fines; and

WHEREAS, Orange County has comprehensively revised its animal services regulations, most recently through Ordinance No. 2026-06; and

WHEREAS, the City Commission finds that public safety is best served when animals are properly restrained and under competent human control, and that leash and restraint requirements reduce the risk of animal attacks and injury; and

WHEREAS, the City Commission finds that adopting the Orange County Animal Services Ordinance by reference, as amended from time to time, serves the public health, safety, and welfare of City residents and visitors; and

WHEREAS, the City Commission desires to amend other provisions of the City Code addressing dogs, cats and other pets to clarify that dogs, cats and other pets must be on leash under human control when within public spaces.

NOW THEREFORE, BE IT ORDAINED by the City Commission of the City of Winter Garden, Florida, that:

SECTION 1. Recitals. The foregoing recitals are hereby ratified and confirmed as being true and correct and are hereby made a part of this Ordinance.

SECTION 2. Authority. The City of Winter Garden has the authority to adopt this Ordinance pursuant to Article VIII of the Constitution of the State of Florida and Chapter 166, Florida Statutes.

SECTION 3. City Code Amendment. Chapter 14, Section 14-1 of the Winter Garden Code of Ordinances is hereby amended as follows (words that are ~~stricken out~~ are deletions; words that are underlined are additions; provisions not included are not amended):

Sec. 14-1. Animal control ordinances adopted; enforcement and fines.

~~The control of animals within the city shall be governed by city Ordinance No. 01-33, which adopts the Orange County Animal Services Ordinance, Ordinance Number 95-32, which provides for enforcement and fines. Copies of city Ordinance No. 01-33 and Orange County Ordinance No. 95-32 are on file in the city clerk's office for inspection.~~

~~(Code 1988, § 5-1; Ord. No. 01-33, § 2, 1-10-02)~~

(a) Adoption. The City of Winter Garden adopts by reference Chapter 5, Article II of the Orange County Code of Ordinances (“Orange County Animal Services Ordinance”), as currently codified and as amended from time to time by Orange County, Florida. The Orange County Animal Services Ordinance governs the control, care, and regulation of animals within the City to the same extent as if fully set forth herein. Nothing in this section limits the City’s authority to adopt additional or more restrictive animal regulations by separate ordinance.

(b) Penalties and Fines. Violations of the Orange County Animal Services Ordinance, as adopted herein, are subject to the penalties and fines established therein, as amended from time to time

(c) Copies on File. The City Clerk shall maintain a current copy of this Ordinance and of the Orange County Animal Services Ordinance, as amended, on file for public inspection during regular business hours, and shall update the file copy within thirty (30) days of receiving notice of any amendment.

(d) Notice of Amendments. The City Clerk shall provide written notice to the City Commission within thirty (30) days of any amendment to the Orange County Animal Services Ordinance. The City Commission shall review each amendment at a regular meeting and may by ordinance opt out of or modify the amendment’s application within the City.

SECTION 4. City Code Amendment. Chapter 14 of the Winter Garden Code of Ordinances is hereby amended add a new Section 14-2 as follows (words that are ~~stricken out~~ are deletions; words that are underlined are additions; provisions not included are not amended):

Sec. 14-2. Leash and control requirement.

Unless otherwise expressly provided, all dogs, cats, and other animals present in public parks, public rights-of-way, public sidewalks and other public spaces within the City shall be kept on a leash and under the direct control of a competent person at all times. This requirement applies to all provisions of the City Code referencing animals in public spaces and shall be construed as a minimum standard of animal control throughout the City. No dog, cat or other pet or animal shall be brought onto any premises owned, controlled or operated by the city when signage is posted prohibiting the presence of such pets or animals.

SECTION 5. City Code Amendment. Chapter 27, Section 27-9 of the Winter Garden Code of Ordinances is hereby amended as follows (words that are ~~stricken out~~ are deletions; words that are underlined are additions; provisions not included are not amended):

Sec. 27-9. Domestic animals in parks and recreation facilities.

(a) No animals, other than dogs or cats, are permitted on park property unless a permit is applied for and obtained from the city manager to expressly authorize such animal(s). Dogs must be kept on leashes no longer than eight feet and under the direct control of a competent person at all times. Cats must be kept ~~at all times~~ on leashes no longer than eight feet and under the direct control of a competent person at all times, or ~~restrained~~ confined within a pet carrier or cage. All animal excrement must be properly cleaned up and properly disposed of by the owner or keeper of the animal.

(b) No person shall bring into any park any animal that constitutes a safety hazard or detriment to the enjoyment of the area by the public.

(c) No person having in charge or custody any dog or cat shall permit, allow or suffer such dog or cat to enter upon or remain within any playground or park area reserved for children or to enter any sandbox, ~~or~~ play apparatus area, pool, fountain, interactive fountain area, artificial turf area, athletic field or sports court.

SECTION 6. City Code Amendment. Chapter 118, Section 118-1612 of the Winter Garden Code of Ordinances is hereby amended as follows (words that are ~~stricken out~~ are deletions; words that are underlined are additions; provisions not included are not amended):

Sec. 118-1612. General regulations; cooperation; enforcement.

(a) In order to protect the health, safety, and general welfare of the public, and pursuant to F.S. § 509.233, all permits issued pursuant to this part are subject to the following requirements:

(1) All public food service establishment employees shall wash their hands promptly after touching, petting, or otherwise handling any dog. Employees shall be prohibited from touching, petting, or otherwise handling any dog while serving food or beverages or handling tableware or before entering other parts of the public food service establishment.

- (2) Patrons in a designated outdoor area shall be advised that they should wash their hands before eating. Waterless hand sanitizer shall be provided at all tables in the designated outdoor area.
- (3) Employees and patrons shall be instructed that they shall not allow dogs to come into contact with serving dishes, utensils, tableware, linens, paper products, or any other items involved in food service operations.
- (4) Patrons shall keep their dogs on a leash no longer than eight feet at all times and ~~shall keep their dogs~~ under the direct control of a competent human reasonable control person at all times.
- (5) Dogs shall not be allowed on chairs, tables, or other furnishings.
- (6) All table and chair surfaces shall be cleaned and sanitized with an approved product between seating of patrons. Spilled food and drink shall be removed from the floor or ground between seating of patrons.
- (7) Accidents involving dog waste shall be cleaned immediately and the area sanitized with an approved product. A kit with the appropriate materials for this purpose shall be kept near the designated outdoor area by the public food service establishment.
- (8) At least one sign reminding employees of the applicable rules, including those contained in this part, and those additional rules and regulations, if any, included as further conditions of the permit by the zoning official, shall be posted in a conspicuous location frequented by employees within the public food service establishment. The mandatory sign shall be not less than eight and one-half inches in width and 11 inches in height and printed in easily legible typeface of not less than 20 point font size.
- (9) At least one sign reminding patrons of the applicable rules, including those contained in this part, and those additional rules and regulations, if any, included as further conditions of the permit by the zoning official, shall be posted in a conspicuous location within the designated outdoor portion of the public food service establishment. The mandatory sign shall be not less than eight and one-half inches in width and 11 inches in height and printed in easily legible typeface of not less than 20-point font size.
- (10) At all times while the designated outdoor portion of the public food service establishment is available to patrons and their dogs, at least one sign shall be posted in a conspicuous and public location near the entrance to the designated outdoor portion of the public food service establishment, the purpose of which shall be to place patrons on notice that the designated outdoor portion of the public food service establishment is currently available to patrons accompanied by their dog or dogs. The mandatory sign shall be not less than eight and one-half inches in width and 11 inches in height and printed in easily legible typeface of not less than 20-point font size.

(11) Dogs shall not be permitted to travel through indoor or undesignated outdoor portions of the public food service establishment, and ingress and egress to the designated outdoor portions of the public food service establishment shall not require entrance into or passage through any indoor or undesignated outdoor portion of the public food service establishment.

(b) A permit issued pursuant to this part shall not be transferred to a subsequent owner upon the sale or transfer of a public food service establishment, but shall expire automatically upon such sale or transfer. The subsequent owner shall be required to reapply for a permit pursuant to this part if such owner wishes to continue to accommodate patrons' dogs.

(c) In accordance with F.S. § 509.233(6), the zoning official shall accept and document complaints related to the dog friendly dining program within the City of Winter Garden, Florida, and shall timely report to the division all such complaints and the city's enforcement response to such complaint. The zoning official shall also timely provide the division with a copy of all approved applications and permits issued pursuant to this part.

(d) Any public food service establishment that fails to comply with the requirements of this part shall be guilty of violating this part of the City of Winter Garden Code and shall be subject to any and all enforcement proceedings consistent with the applicable provisions of the Winter Garden City Code and general law. Each day a violation exists shall constitute a distinct and separate offense.

SECTION 7. Severability. If any section, subsection, sentence, clause, phrase, word or provision of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, whether for substantive, procedural, or any other reason, such portion shall be deemed a separate, distinct and independent provision, and such holding shall not affect the validity of the remaining portions of this Ordinance.

SECTION 8. Conflicts. In the event of a conflict between this Ordinance and any other ordinance or provision of law, this Ordinance controls to the extent of the conflict, as permitted by law.

SECTION 9. Codification. Sections 3 through 6 of this Ordinance shall be incorporated into the Winter Garden Code of Ordinances. Any section, paragraph number, subsection number, letter and/or any heading may be changed or modified as necessary to effectuate the foregoing. Grammatical, typographical and similar or like errors may be corrected, and additions, alterations, and omissions not affecting the construction or meaning of this ordinance or City Code may be freely made.

SECTION 10. Effective date. This Ordinance shall become effective immediately upon adoption by the City Commission of the City of Winter Garden, Florida.

FIRST READING: _____.

SECOND READING: _____.

ADOPTED this ____ day of _____, _____, by the City Commission of the City of Winter Garden, Florida.

**CITY COMMISSION OF THE CITY OF
WINTER GARDEN, FLORIDA**

John Rees, Mayor

Ronisha Martin, Interim City Clerk



Business Impact Estimate

This form should be included in agenda packet for the item under which the proposed ordinance is to be considered, and must be posted on the City's website by the time notice of the proposed ordinance is published.

Proposed ordinance's title/reference: **Ordinance 26-10** - Amending Code Chapter 14, Section 14-1 to repeal and replace existing animal control provisions and to adopt the Orange County animal services ordinance; Amending Code Chapter 14, Section 14-2 to establish citywide leash and direct control requirement for animals in public spaces; Amending Code Chapter 27, Section 27-9 relating to domestic animals in parks and recreation facilities; and Amending Code Chapter 118, Article XII, Section 118-1612 relating to the dog friendly dining program.

This Business Impact Estimate is provided in accordance with Section 166.041(4), *Florida Statutes*. If one or more of the boxes are checked below, the checked exception(s) to the Business Impact Estimate requirement apply to the above-referenced proposed ordinance, although, the City is implementing the procedure otherwise required by law to ensure that no inadvertent procedural issue could impact the enactment of the proposed ordinance.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant, or other financial assistance accepted by the
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, *Florida Statutes*, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, *Florida Statutes*, regarding community development districts;
 - c. Section 553.73, *Florida Statutes*, relating to the *Florida Building Code*; or

d. Section 633.202, *Florida Statutes*, relating to the *Florida Fire Prevention Code*.

In accordance with the provisions of controlling law, even notwithstanding the fact that, an exemption noted above may apply, the City hereby publishes the following information:

1. Summary of the proposed ordinance (must include statement of the public purpose, such as serving the public health, safety, morals, and welfare):

Ordinances referenced and cited intend to amend City of Winter Garden Code to repeal and replace existing animal control provisions and to adopt the Orange County animal services ordinance, to establish citywide leash and direct control requirement for animals in public spaces, redefine requirements relating to domestic animals in parks and recreation facilities and refine requirements relating to the dog friendly dining program.

The purpose of this ordinance and amendments is to reinforce assurances for public safety and public health to more effectively regulate dogs, cats and other animal controls regarding the use of leashes and, owner-direct-control in public spaces and establishing certain restrictions for animals in parks and recreational facilities. This ordinance includes amended language to adopt, by reference, Orange County's Animal Services Ordinance currently codified and as amended from time to time to govern the control, care, and regulation of animals within the City of Winter Garden boundary.

2. Estimate of direct economic impact of the proposed ordinance on private, for-profit businesses in the City:

The impact that this ordinance and amendment would have on private, for-profit businesses would be limited to consumers and customers who are pet owners and, who, from time to time patronize private establishments. The amended regulations are unlikely to have any significant adverse effects on commercial activity as the ordinance primarily addresses pets and owners traversing in public spaces and while dining at restaurant establishments providing clearer requirements for public safety and health with little to no harm on consumer activity. The direct economic impact on private for-profit businesses are expected to be negligible beyond the normal operating cost and accommodations of a pet-friendly establishment.

3. Estimate of direct compliance costs that businesses may reasonably incur:

The only direct compliance costs to be reasonably incurred by pet-friendly businesses are those pet-related supplies to ensure clean and sanitary areas, especially, involving food, drink, chairs and eating surfaces, which we view as normal operating practice and not incremental.

4. Any new charge or fee imposed by the proposed ordinance:

No new charge or fee will be imposed by this proposed ordinance outside of existing fines for violation.

5. Estimate of the City's regulatory costs, including estimated revenues from any new charges or fees to cover such costs:

The estimated regulatory costs to the City will be minimal. Regulatory cost may impact Winter Garden Police Department where the ordinance allows and some staff in Parks and Recreation and other departments.

6. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

Businesses expected to be impacted are pet-friendly restaurants and some retail establishments within the City's boundary. Less than 500 business establishments are expected to be impacted.

7. Additional information (if any, but may wish to include the methodology used to derive information for #1 and #2, above. For example: City staff solicited comments from businesses in the City as to the potential impact of the proposed ordinance by contacting the chamber of commerce, social media posting, direct mail or direct email, posting on City website, public workshop, etc. You may also wish to include efforts made to reduce the potential fiscal impact on businesses based on feedback from businesses. You may also wish to state here that the proposed ordinance is a generally applicable ordinance that applies to all persons similarly situated (individuals as well as businesses) and, therefore, the proposed ordinance does not impose costs only upon businesses.):

N/A

THE CITY OF WINTER GARDEN

CITY COMMISSION AGENDA ITEM

From: Kelly Carson, Planning Director

Via: City Manager Jon C. Williams

Date: March 5, 2026 **Meeting Date:** April 9, 2026

Subject: 1414 East Crown Point Road and 1325 East Fullers Cross Road AZFLU (3.50+/- Acres) (New Life Slavic Church)

Ordinance 26-01, 26-02 and 26-03

PARCEL ID# – 12-22-27-0000-00-045; 12-22-27-0000-00-002

Issue: The applicant is requesting to annex the properties into the City, update the future land use to Low Density Residential and rezone to PUD (Planned Unit Development) for church use.

Discussion:

The applicant is requesting to annex into the City of Winter Garden, amend the future land use of the properties to City Low Density Residential and rezone the properties to City PUD to allow the construction of an 11,162 +/- square foot church. The church building will contain a one story worship area with 286 seats that will connect with a two story area for offices and meeting rooms.

To mitigate impacts to surrounding properties the applicant has provided 30 foot landscaped buffers along all property boundaries which will allow the applicant to preserve many of the mature trees at the boundary of the property. To mitigate traffic impacts the applicant has proposed two access points on the property, one from East Fullers Cross Road and the other along East Crown Point Road. There is an existing traffic signal at the intersection and the applicant will stripe a designated left turning lane along East Crown Point Road to assist with traffic turning into the property.

In addition to the typical public facilities analysis, staff reviewed the proposed project in accordance with the City's Comprehensive Plan and Land Development Regulations per Code Section 118-828 and 118-834 c. 4. Based on the code criteria, staff finds the proposed PUD for the church to be consistent with the City's Land Development Regulations, Comprehensive Plan and proposed Future Land Use Map amendment for Low Density Residential Use.

Recommended Action:

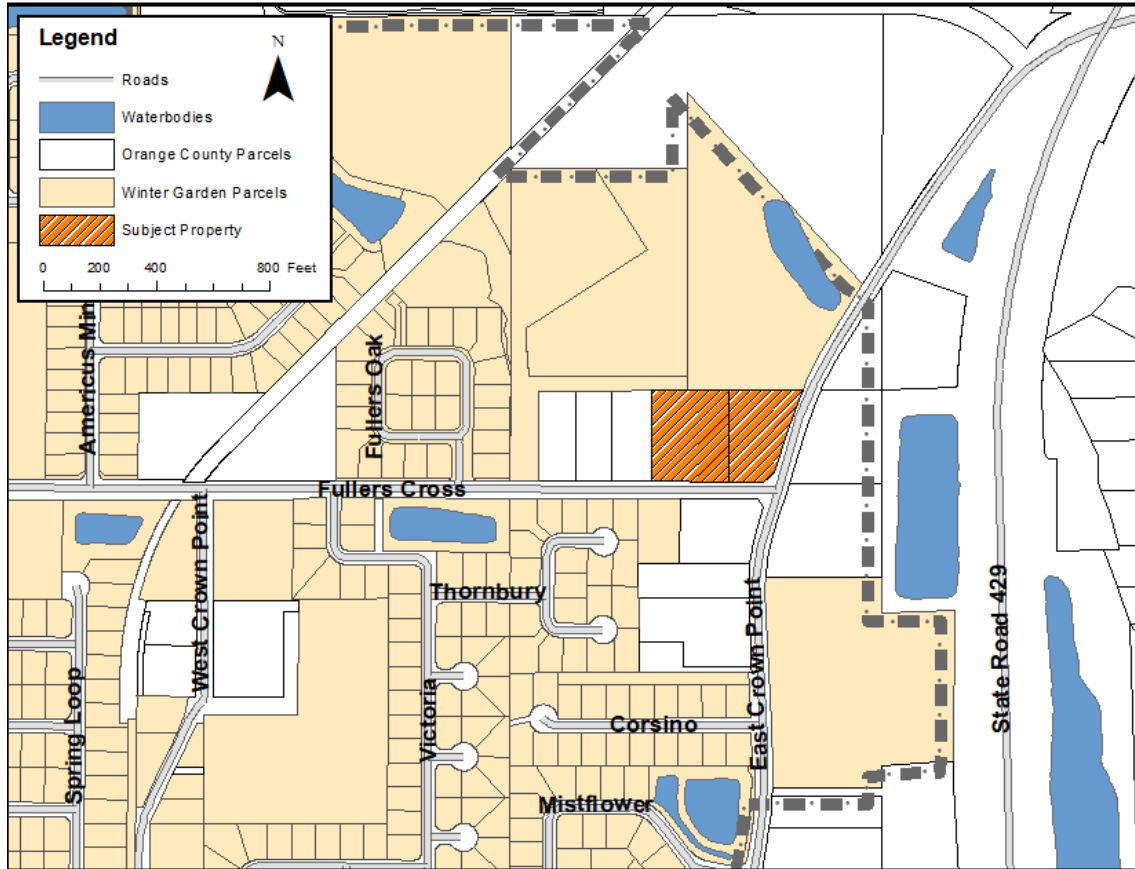
Staff recommends adoption of Ordinance 26-01, 26-02 and 26-03.

Attachment(s)/References:

Location Map
Ordinance 26-01, 26-02 and 26-03
Staff Report
Business Impact Estimate

LOCATION MAP

1414 East Crown Point Road and 1325 East Fullers Cross Road



ORDINANCE 26-01

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA PROVIDING FOR THE ANNEXATION OF CERTAIN ADDITIONAL LANDS GENERALLY DESCRIBED AS APPROXIMATELY 1.50 ± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD, AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, INTO THE CITY OF WINTER GARDEN, FLORIDA; REDEFINING THE CITY BOUNDARIES TO GIVE THE CITY JURISDICTION OVER SAID PROPERTY; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the owner of the land, generally described, as approximately 1.50 ± acres located at 1414 East Crown Point Road, and approximately 2.02 ± acres located at 1325 East Fullers Cross Road north of East Fullers Cross Road, south of Ocoee Crown Point Pkwy, east of Fullers Oak Loop and west of East Crown Point Road, and legally described in Section 2 of this Ordinance, which land is reasonably compact and contiguous to the corporate limits of the City of Winter Garden, Florida (“City”), has, pursuant to the prerequisites and standards set forth in § 171.044, Fla. Stat., petitioned the City Commission for voluntary annexation;

WHEREAS, the petition for voluntary annexation referenced herein bears the signatures of all owners of the property or properties described in Section 2 of this Ordinance (*i.e.*, the property or properties to be annexed); and

WHEREAS, the City has determined that the property described in Section 2 of this Ordinance is located in an unincorporated area of the County and that annexation of such property will not result in the creation of an enclave.

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: *Annexation.* That the City Commission through its Planning and Zoning Board has conducted an investigation to determine whether the described property meets the prerequisites and standards set forth in Chapter 171, Fla. Stat. and has held a public hearing and said petition and made certain findings.

SECTION 2: *Description of Area Annexed.* That, after said public hearing and having found such petition meets said prerequisites and standards, the property legally defined in ATTACHMENT “A” and graphically shown in ATTACHMENT “B” shall be annexed into the City of Winter Garden, Florida.

SECTION 3: *Effect of Annexation.* That the City of Winter Garden, Florida, shall

have all of the power, authority, and jurisdiction over and within the land as described in Section 2 hereof, and the inhabitants thereof, and property therein, as it does and have over its present corporate limits and laws, ordinances, and resolutions of said City shall apply and shall have equal force and effect as if all territory had been part of said City at the time of the passage of such laws, ordinances, and resolutions.

SECTION 4: *Apportionment of Debts and Taxes.* Pursuant to § 171.061, Fla. Stat., the area annexed to the City shall be subject to all taxes and debts of the City upon the effective date of annexation. However, the annexed area shall not be subject to municipal ad valorem taxation for the current year if the effective date of the annexation falls after the City levies such tax.

SECTION 5: *Instructions to Clerk.* Within seven (7) days following the adoption of this Ordinance, the City Clerk or his/her designee is directed to file a copy of this ordinance, including ATTACHMENT "A" hereto, with the clerk of the circuit court and the chief administrative officer of Orange County as required by § 171.044(3), Fla. Stat.

SECTION 6: *Severability.* Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

SECTION 7: *Effective Date.* This Ordinance shall become effective upon adoption at its second reading.

FIRST READING AND PUBLIC HEARING: _____, 2026.

SECOND READING AND PUBLIC HEARING: _____, 2026.

ADOPTED this _____ day of _____, 2026, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

RONISHA MARTIN, Interim City Clerk

ATTACHMENT "A"
LEGAL DESCRIPTION

PARCEL ID#: 12-22-27-0000-00-045

DESCRIPTION:

PARCEL 1:

BEGIN at the Northeast Corner of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 12, Township 22 South, Range 27 East, thence run West along the $\frac{1}{4}$ Section line a distance of 273 $\frac{1}{3}$ feet for a point of beginning; thence West along said $\frac{1}{4}$ section line a distance of 273 $\frac{1}{3}$ feet, thence South a distance of 330 feet, thence East a distance of 273 $\frac{1}{3}$ feet thence North a distance of 330 feet to a point of beginning.

(Less and except)

Commence at the Southeast corner of the North $\frac{1}{2}$ of the North $\frac{1}{2}$ of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 12, Township 22 South, Range 27 East of Orange County, Florida; run thence North $89^{\circ}58'46''$ West along the South line, a distance of 54.35 feet to the East right-of-way line of East Crown Point Road; thence, along said East right-of-way line run North $18^{\circ}00'30''$ East a distance of 178.88 feet; thence run South $00^{\circ}19'07''$ West a distance of 170.14 feet to the Point of Beginning.

(Less and except)

The property described in Drainage and Utilities Easement recorded April 12, 2019, in Document #20190225180, of the Public Records of Orange County, Florida.

Containing 1.50 acres, more or less.

TOGETHER WITH:

PARCEL ID #: 12-22-27-0000-00-002

PARCEL 2:

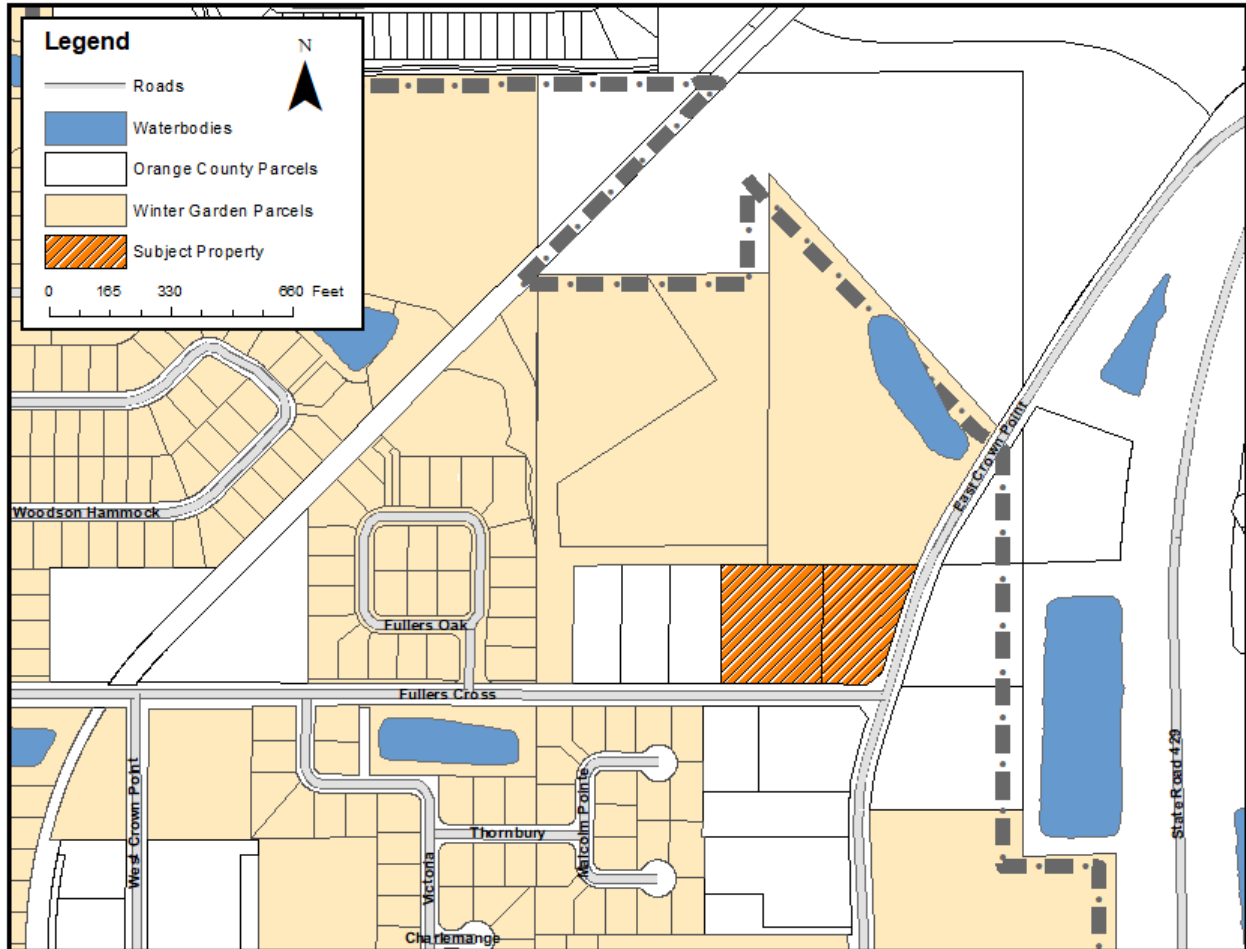
North 10 Acres of Southeast $\frac{1}{4}$ of Northeast $\frac{1}{4}$ (Less West 500 feet and Less East 546 $\frac{2}{3}$ feet thereof) Section 12, Township 22 South, Range 27 East, Orange County, Florida.

Containing 2.02 acres, more or less.

ATTACHMENT "B"

LOCATION MAP

1414 East Crown Point Road and 1325 East Fullers Cross Road



ORDINANCE 26-02

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.50 ± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY LOW DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as approximately 1.50 acres located at 1414 East Crown Point Road, and approximately 2.02 ± acres located at 1325 East Fullers Cross Road, north of East Fullers Cross Road, south of Ocoee Crown Point Pkwy, east of Fullers Oak Loop and west of East Crown Point Road, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Low Density Residential to City Low Density Residential; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Low Density Residential as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 26-01, this Ordinance shall become

effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2026.

SECOND READING AND PUBLIC HEARING: _____, 2026.

ADOPTED this _____ day of _____, 2026, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

RONISHA MARTIN, Interim City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 12-22-27-0000-00-045

DESCRIPTION:

PARCEL 1:

BEGIN at the Northeast Corner of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 12, Township 22 South, Range 27 East, thence run West along the $\frac{1}{4}$ Section line a distance of 273 $\frac{1}{3}$ feet for a point of beginning; thence West along said $\frac{1}{4}$ section line a distance of 273 $\frac{1}{3}$ feet, thence South a distance of 330 feet, thence East a distance of 273 $\frac{1}{3}$ feet thence North a distance of 330 feet to a point of beginning.

(Less and except)

Commence at the Southeast corner of the North $\frac{1}{2}$ of the North $\frac{1}{2}$ of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 12, Township 22 South, Range 27 East of Orange County, Florida; run thence North $89^{\circ}58'46''$ West along the South line, a distance of 54.35 feet to the East right-of-way line of East Crown Point Road; thence, along said East right-of-way line run North $18^{\circ}00'30''$ East a distance of 178.88 feet; thence run South $00^{\circ}19'07''$ West a distance of 170.14 feet to the Point of Beginning.

(Less and except)

The property described in Drainage and Utilities Easement recorded April 12, 2019, in Document #20190225180, of the Public Records of Orange County, Florida.

Containing 1.50 acres, more or less.

TOGETHER WITH:

PARCEL ID #: 12-22-27-0000-00-002

PARCEL 2:

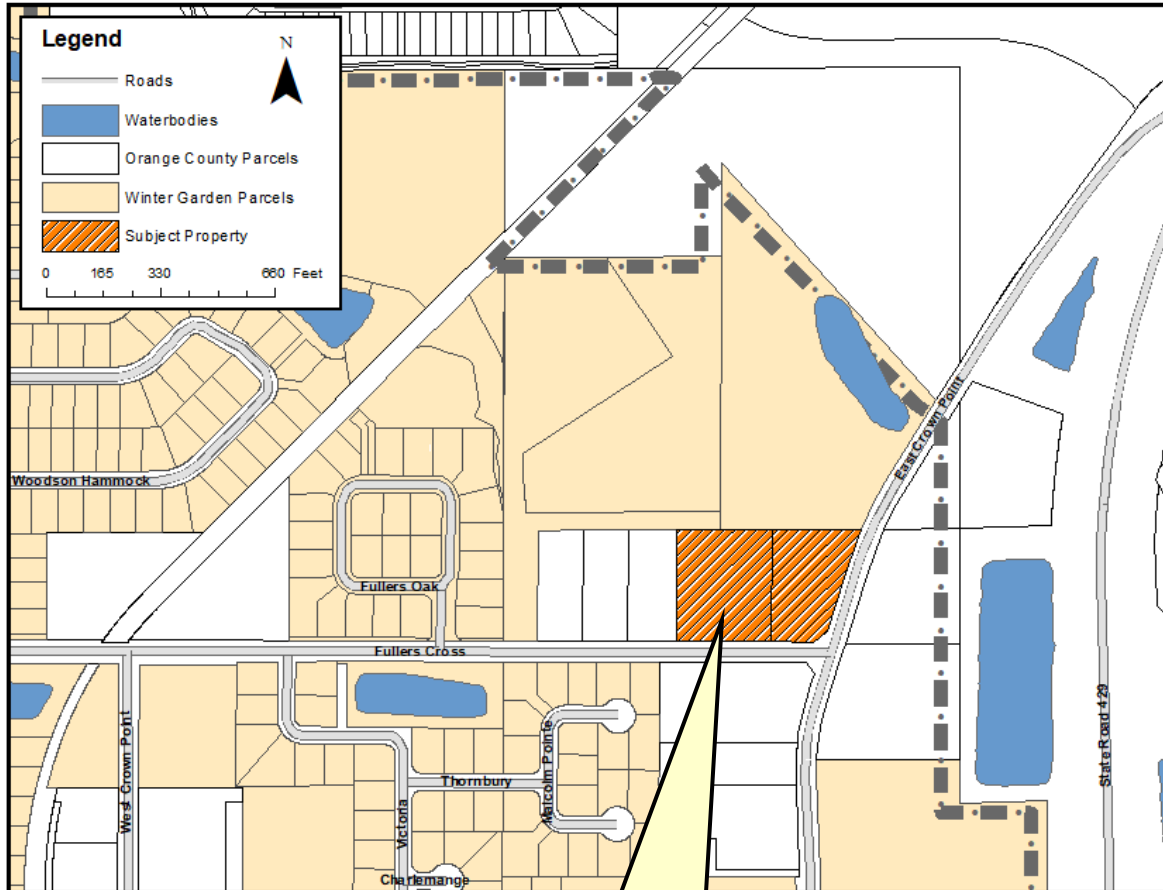
North 10 Acres of Southeast $\frac{1}{4}$ of Northeast $\frac{1}{4}$ (Less West 500 feet and Less East 546 $\frac{2}{3}$ feet thereof) Section 12, Township 22 South, Range 27 East, Orange County, Florida.

Containing 2.02 acres, more or less.

ATTACHMENT "B"

FUTURE LAND USE MAP

1414 East Crown Point Road and 1325 East Fullers Cross Road



Subject property changed from Orange County Low Density Residential to City Low Density Residential

ORDINANCE 26-03

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.50 ± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, FROM ORANGE COUNTY A-1 (CITRUS RURAL DISTRICT) TO CITY PUD (PLANNED UNIT DEVELOPMENT) AS SET FORTH IN THIS ORDINANCE; PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE NEW LIFE SLAVIC CHURCH PUD; AND PROVIDING FOR SEVERABILITY; CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the owner of real property generally described as approximately 1.50 ± acres located at 1414 East Crown Point Road, and approximately 2.02 ± acres located at 1325 East Fullers Cross Road, north of East Fullers Cross Road, south of Ocoee Crown Point Pkwy, east of Fullers Oak Loop and west of East Crown Point Road in Winter Garden, Florida being more particularly described in Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from County A-1 (Citrus Rural District) to the City PUD (Planned Unit Development), and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the land development regulations set forth in the City of Winter Garden Code of Ordinances; and

WHEREAS, based on competent, substantial evidence in the record, the requested rezoning set forth in this Ordinance meets all applicable criteria specified in the City of Winter Garden Comprehensive Plan, and the Code of Ordinances; Now therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from County A-1 (Citrus Rural District) to City PUD (Planned Unit Development) in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:

- a. **Conceptual Plan** – After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from County A-1 (Citrus Rural District) to City PUD (Planned Unit Development) in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:
- b. **Zoning** – Unless specifically noted elsewhere in Exhibit “B” attached hereto, or expressly provided for herein, all development on the Property must comply with the general zoning requirements of the Planned Unit Development zoning district as they pertain to the property that has the primary church or other religious use. These requirements include any approval procedures of the Planned Unit Development zoning district.
- c. **Permitted Uses** – The permitted uses for the Property are as follows:
 - 1. Permitted primary structures and uses:
 - a) Church and other religious structures
 - 2. Permitted accessory structures and uses:
 - a) Other accessory uses and structures that meet the requirements of the Winter Garden Code of Ordinances and are clearly secondary and subordinate to the primary use.
- d. **Special Exception Uses** –
 - 1. No special exception uses permitted.
- e. **Prohibited Uses** – The prohibited uses for all areas of the Property are as follows:
 - 1. All uses prohibited by Sec. 118-858(5), City of Winter Garden Code of Ordinances.
 - 2. All uses not specifically permitted in the Ordinance; any use not in keeping with a low density residential neighborhood character.
 - 3. Daycare center.
 - 4. School.
- f. **Design Criteria/Architectural Standards** -
 - 1. **Architectural and Design Standards** – All development on the Property must adhere to the design criteria and architectural characteristics shown in the Elevations attached hereto as Exhibit “C”.
 - 2. **Maximum Building Height** – The maximum building height shall not exceed 40 feet.
 - 3. **Maximum Building Area** – The church building shall not exceed 0.13 F.A.R.
 - 4. **Minimum Setbacks and Required Yard** –
 - a) Primary Structure:

- a. East Crown Point Road - Front: 95 foot minimum
 - b. Side Corner: 80 foot minimum
 - c. Side Interior: 100 foot minimum
 - d. Rear: 145 foot minimum
 - b) Open space landscape buffers:
 - a. Front: 30 foot minimum
 - b. Side: 30 foot minimum
 - c. Rear: 30 foot minimum
 - c) Other Accessory Buildings/Structures:
 - a. All accessory buildings shall be located to the rear of the church building and out of all open space and landscape buffers.
- 5. Impervious Surface Area Ratio** - The maximum impervious surface area ratio for the Property shall be consistent with the overall maximum impervious surface area ratio that the Planned Unit Development is permitted by Saint John's River Water Management District.
- g. Staff Conditions** – All development on the Property must comply with the following staff conditions:
1. The lots shall be combined prior to final site plan approval.
 2. A preliminary site plan, landscape plan and tree survey are provided with Exhibit B. Separate final site plan approval is required. Refer to Section 110 of the City Code for final site plan submittal information. Refer to Section 118-68 of the City Code for final site plan requirements.
 3. All trees shown on the site plan as being saved are required to be saved. A separate tree removal permit is required to remove trees. Replacement trees must be planted 5 feet or more from any utility lines. Only sod or shrubs may be planted over utility lines.
 4. The applicant will pay \$87,300 to the City's tree fund to mitigate the 97 trees that do not fit on the developed site. The applicant will enter into an agreement with the City and these fees will be paid prior to issuance of building permits.
 5. All signs are subject to Chapter 102 of City Code, specifically Division 2. Residential and Planned Unit Development (PUD) Districts. A separate permit is required for all signs.
 6. A minimum 5' wide utility and drainage easements will be required on the side and rear lot lines, with no obstructions allowed within the easement area (a.c. units, sheds, other accessory structures, etc.)
 7. A minimum 10' drainage, utility and sidewalk encroachment easement is required adjacent to all right-of-way.

8. A minimum 30' buffer as shown on the plan provided with Exhibit B is required around the entirety of the property.
9. A left turn lane as shown with Exhibit B shall be provided along East Crown Point Road to create a designated left turn lane into the Property at the north portion of the property. The applicant will provide the left turn lane prior to receiving the certificate of occupancy.
10. A geotechnical report shall be provided with the final site plan submittal.
11. An environmental report has been prepared and will be reviewed further with the final site submittal.
12. All utilities shall conform to Chapter 78 of the City Code.
 - a) Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications.
 - b) The site shall be served by City water, sewer and reuse.
 - c) All utilities required for the development shall be run to the site at the property owner's expense, including potable water, reclaimed water and sanitary sewer.
13. Provide existing drainage pattern and proposed drainage pattern with final site plan. Off-site drainage must be accommodated.
14. One hundred percent (100%) of the water/sewer impact fees shall be paid prior to site or building permit issuance or execution of FDEP permit applications by the City. Use City Standard Detail Sheets for utilities and public works. A private lift station meeting all City requirements will be required.
15. Permits or exemptions shall be provided from SJRWMD stormwater and FDEP for water, wastewater and NPDES NOI.
16. Buildings over 6,000 square feet require fire sprinkler systems with Point of Service (POS) for fire line shown on the plans, with note stating that any work downstream of the Point of Service shall be performed by a licensed Fire Sprinkler Contractor. Review and approval by the Fire and Building Departments is required.
17. Any screen walls or retaining walls shall require a separate permit from the Building Department.
18. All underdrain pipe shall be double wall HDPE pipe or PVC pipe.
19. Lighting is required on site and along all street frontages if not existing. All lighting shall meet dark skies requirements per City Code. Submit photometric plan with final site plan submittal.
20. Minimum 5 foot wide concrete sidewalks shall be constructed along all street frontages pursuant to City Code. Existing sidewalks, curbs and pavement shall be checked at completion and any damaged sections shall

be replaced.

SECTION 2: General Requirements.

- a. **Development Agreement-** If deemed necessary by City Staff, a Development Agreement shall be drafted, approval obtained and recorded prior to approval of any site or building permits for the Property.
- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City’s Code of Ordinances and subject to this Ordinance.
- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. **Expiration/Extension-** Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 3: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 4: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: Effective Date. This Ordinance shall become effective simultaneously upon the effective date of Ordinance 26-02 which is an amendment to the Future Land Use Map of the City of Winter Garden Comprehensive Plan that allows the property described herein to be zoned as provided in this Ordinance.

FIRST READING AND PUBLIC HEARING: _____, 2026.

SECOND READING AND PUBLIC HEARING: _____, 2026.

ADOPTED this _____ day of _____, 2026, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

RONISHA MARTIN, City Clerk

EXHIBIT "A"

LEGAL DESCRIPTION

PARCEL ID#: 12-22-27-0000-00-045

DESCRIPTION:

PARCEL 1:

BEGIN at the Northeast Corner of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 12, Township 22 South, Range 27 East, thence run West along the $\frac{1}{4}$ Section line a distance of 273 $\frac{1}{3}$ feet for a point of beginning; thence West along said $\frac{1}{4}$ section line a distance of 273 $\frac{1}{3}$ feet, thence South a distance of 330 feet, thence East a distance of 273 $\frac{1}{3}$ feet thence North a distance of 330 feet to a point of beginning.

(Less and except)

Commence at the Southeast corner of the North $\frac{1}{2}$ of the North $\frac{1}{2}$ of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 12, Township 22 South, Range 27 East of Orange County, Florida; run thence North $89^{\circ}58'46''$ West along the South line, a distance of 54.35 feet to the East right-of-way line of East Crown Point Road; thence, along said East right-of-way line run North $18^{\circ}00'30''$ East a distance of 178.88 feet; thence run South $00^{\circ}19'07''$ West a distance of 170.14 feet to the Point of Beginning.

(Less and except)

The property described in Drainage and Utilities Easement recorded April 12, 2019, in Document #20190225180, of the Public Records of Orange County, Florida.

Containing 1.50 acres, more or less.

TOGETHER WITH:

PARCEL ID #: 12-22-27-0000-00-002

PARCEL 2:

North 10 Acres of Southeast $\frac{1}{4}$ of Northeast $\frac{1}{4}$ (Less West 500 feet and Less East 546 $\frac{2}{3}$ feet thereof) Section 12, Township 22 South, Range 27 East, Orange County, Florida.

Containing 2.02 acres, more or less.

Exhibit "B"

COVER PAGE

NEW LIFE SLAVIC CHRISTIAN
MISSIONARY CHURCH

PUD LAND USE PLAN
(6 PAGES – ATTACHED)

Boundary Survey

Legal Description:

PARCEL 1: BEGIN at the Northeast Corner of the Southeast 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 12, Township 22 South, Range 27 East, thence run West along the 1/4 Section line a distance of 273 1/3 feet for a point of beginning; thence West along said 1/4 section line a distance of 273 1/3 feet, thence South a distance of 330 feet, thence East a distance of 273 1/3 feet thence North a distance of 330 feet to a point of beginning.

(Less and except) Commence at the Southeast corner of the North 1/2 of the North 1/2 of the Southeast 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 12, Township 22 South, Range 27 East of Orange County, Florida; run thence North 89°58'46" West along the South line of the North 1/2 of the North 1/2 of the Southeast 1/4 of the Northeast 1/4 of said Section 12, a distance of 273.33 feet for a point of beginning; thence continue North 89°58'46" West along the South line, a distance of 54.35 feet to the East right-of-way line of East Crown Point Road; thence, along said East right-of-way line run North 18°00'30" East a distance of 178.88 feet; thence, run South 00°19'07" West a distance of 170.14 feet to the Point of Beginning.

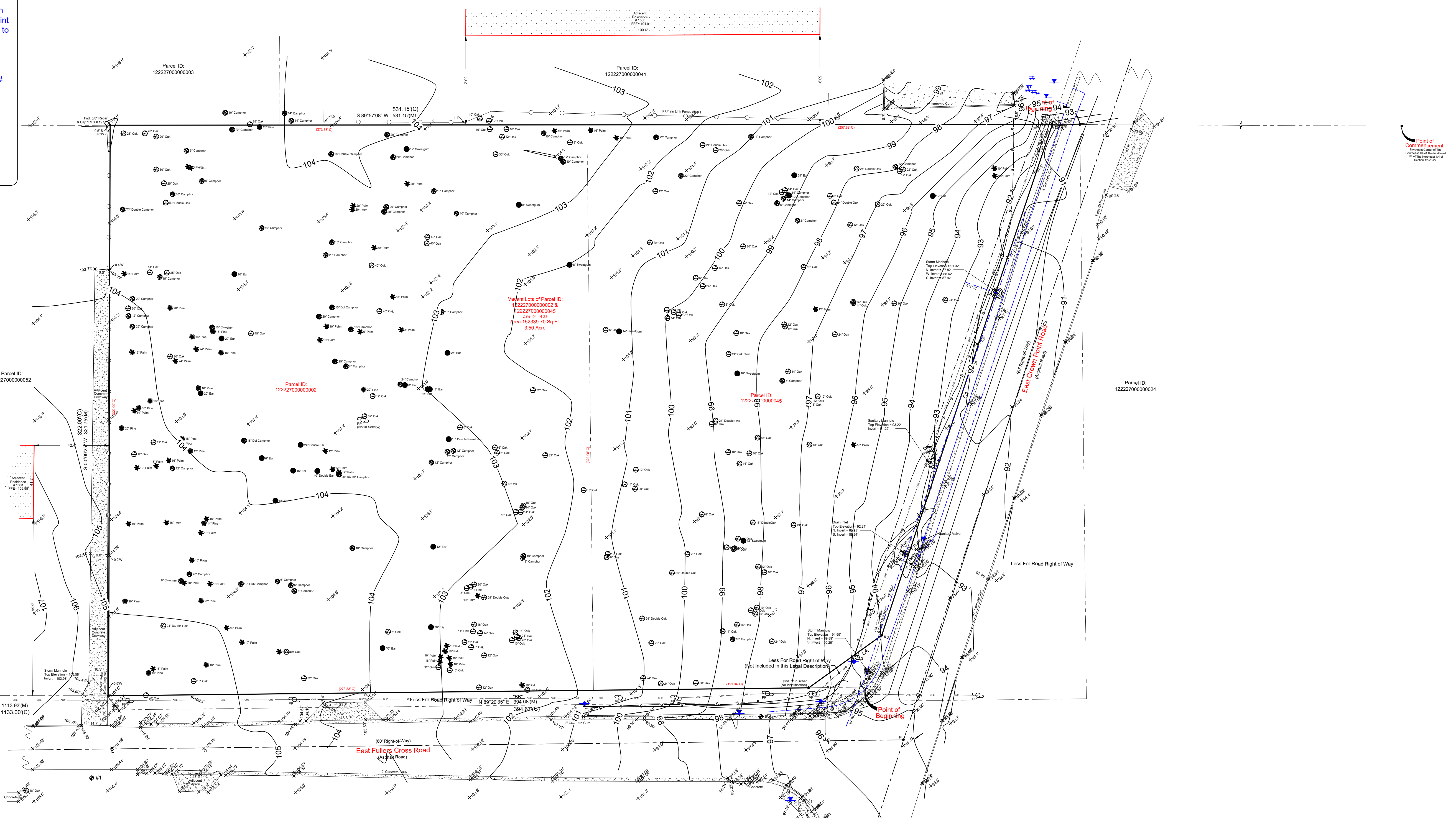
(Less and except) The property described in Drainage and Utilities Easement recorded April 12, 2019 in Document # 20190225180, of the Public Records of Orange County, Florida.

TOGETHER WITH: PARCEL 2: North 10 Acres of Southeast 1/4 of Northeast 1/4 (Less West 500 feet and Less East 546 2/3 feet thereof) Section 12, Township 22 South, Range 27 East, Orange County, Florida.

FLOOD DISCLAIMER: BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN ORANGE COUNTY, COMMUNITY NUMBER 120176, DATED 2021-09-24.

CERTIFIED TO: ILYA ZAGARYUK

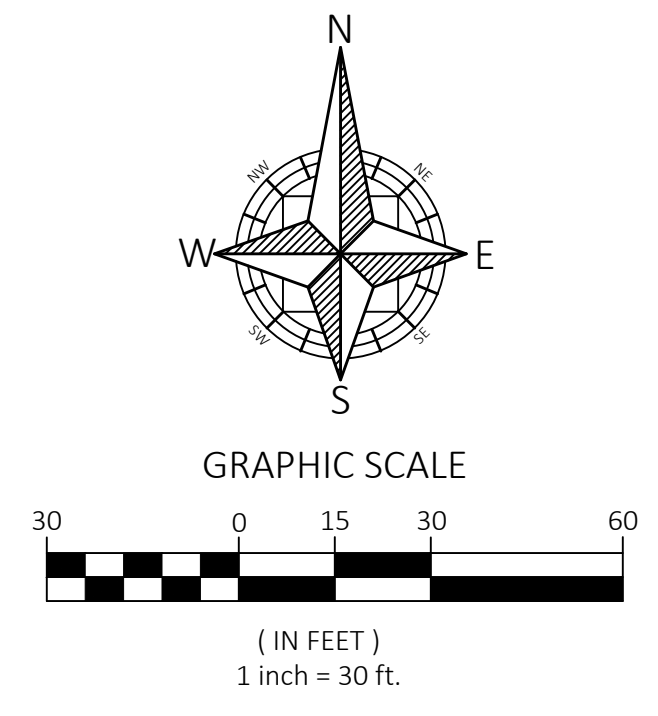
C1
R= 36148.25(C)
L= 307.89(C)
A= 00°29'16"(C)
Chord Bearing:
S 18°21'13" W 303.70(M)
LA
50.75(D)
N 54°21'15" E 50.75(M)



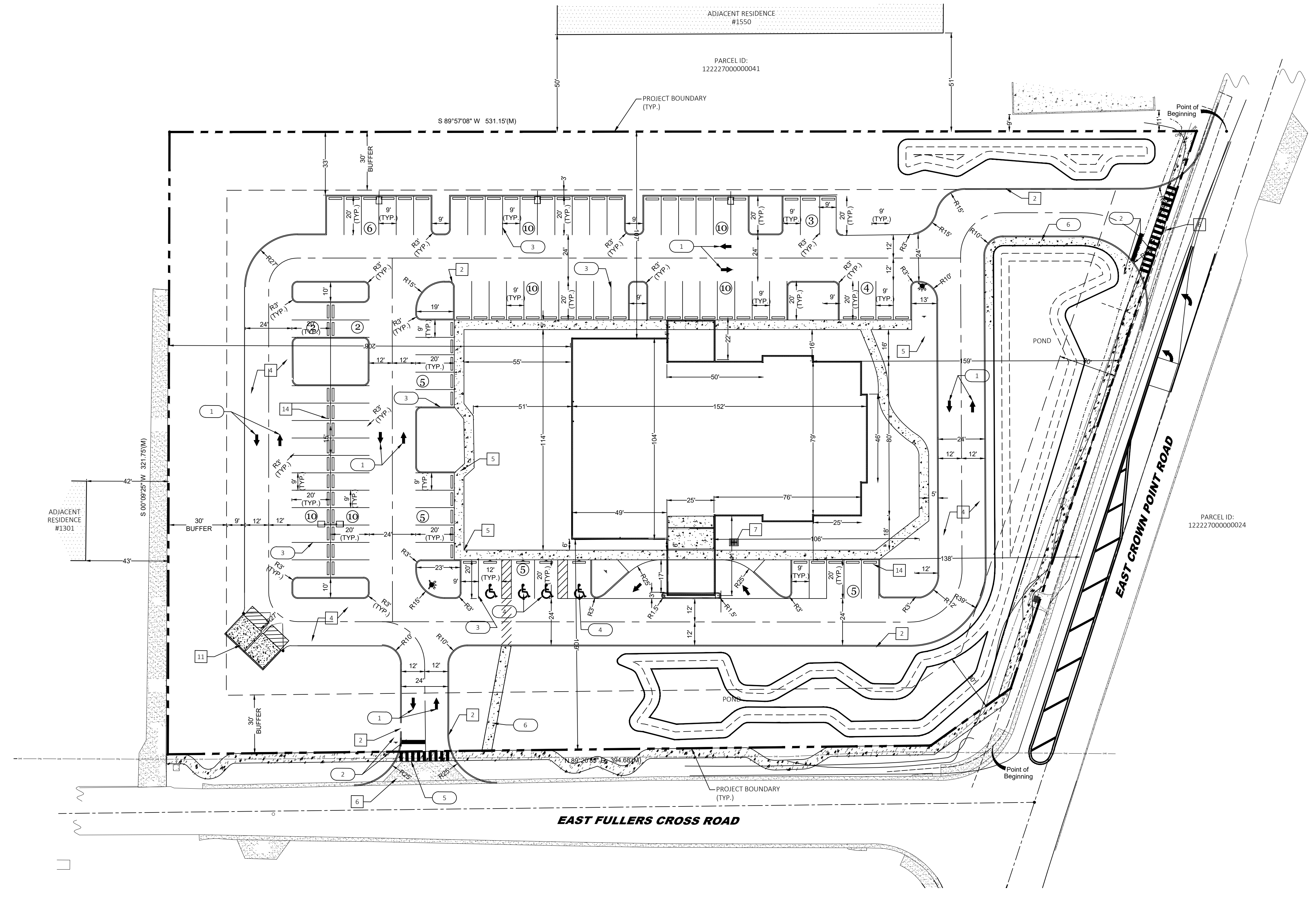
Legend: Back Flow Preventer, Cable Riser, Drain Inlet, Electric BOX, Fiber Optic Box, Manhole, Power Pole, Sanitary Cleanout, Sanitary Valve, Sanitary Manhole, Storm Manhole, Telephone Riser, Water Meter, Water Valve. Utility Line Legend: Yellow Stripping Line, Overhead Electric, FM Line, Water Line, Pink Line, Buried Telephone Line, Gas Line, Buried Sanitary Line. Note: Assumed Bearings. GMS, SAN. 1"=30' Graphic Scale.

Field Date: 04/19/23, Date Completed: 04/25/23, Drawn By: TCK, File Number: IS-116298. Notes: Survey is Based upon the Legal Description Supplied by Client. Subjecting Property Deeds have NOT been Researched for Gaps, Overlaps and/or Errors. Subject to any Easements and/or Restrictions of Record. Blanking Blank Sheet Herein, is Assumed and Based upon the Line Adjoining with a "B". Building Tie are NOT to be used to reconstruct Property Lines. Fence Ownership is NOT determined. Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted. Electric, Tanks and/or Drained locations are approximate and MUST be verified by appropriate Utility Location Companies. Note of This Survey: No other points introduced without written verification. Will be at the Client's sole risk and without liability to the Surveyor. Nothing Herein shall be construed to give ANY Rights or Benefits to Anyone Other than those Certified. Flood Zone Determination Shown Herein is Given as a Courtesy, and is NOT given by the Surveying Company at the time of this Easement. Ireland & Associates Surveying Inc. did not sign survey assume NO liability for the accuracy of this determination.

Revisions table with columns for Date, Description, and Initials. Includes signature of Patrick K. Ireland, License # PS160637, LB 7623. Contact information: 800 Currency Circle Suite 1020, Lake Mary, Florida 32746, www.irelandsurveying.com, Office-407.678.3366 Fax-407.320.8165.



NEW LIFE CHURCH
SITE PLAN
WINTER GARDEN, FLORIDA



SITE INFORMATION

PARCEL ID: 02-22-27-0000-00-045 & 02-22-27-0000-00-002
 AREA: 152,275 SF = 3.50 ACRES
 EXISTING ZONING (ORANGE COUNTY): A-1
 PROPOSED ZONING (CITY OF WINTER GARDEN): PUD
 EXISTING LAND USE (ORANGE COUNTY): RESIDENTIAL
 PROPOSED LAND USE (CITY OF WINTER GARDEN): LR
 MAX F.A.R. 0.30
 BUILDING AREA: 11,162 SF
 MAXIMUM SEATING: 268 SEATS
 F.A.R PROVIDED = 0.07, FUTURE EXPANSION: 0.13
 PROPOSED USE: RELIGIOUS FACILITY
 HOURS OF OPERATION SUNDAY 11:AM TO 1 PM
 WEDNESDAY 7:00 PM TO 8:30 PM
 FRIDAY 7:00 PM TO 8:30 PM
 NO SCHOOL OR DAYCARE PROPOSED

MAX BUILDING HEIGHT: 40'
 SETBACKS: WEST: 150'
 NORTH: 100'
 EAST CROWN POINT POINT: 75'
 EAST FULLERS CROSS ROAD : 100'

BUFFERS: FRONT: 30'
 SIDE: 30'
 REAR: 30'

REQUIRED PARKING: 1 PER 3 SEATS= 90 SPACES

PROVIDED PARKING:
 STANDARD = 89
 HANDICAP = 4
 TOTAL SPACES PROVIDED = 93

BICYCLE PARKING
 5% OF REQUIRED STALLS = 5

PROPOSED PROJECT AREA:	11,162 Sq. Ft.	0.26 Acres (0.07%)
PROP. BUILDING	56,017 Sq. Ft.	1.29 Acres (36.8%)
PAVEMENT/ CURB	69,400 Sq. Ft.	1.59 Acres (45.4%)
OPEN SPACE	152,340 Sq. Ft.	3.50 Acres (100%)
TOTAL AREA		

OPEN SPACE CALCULATION:
 PROP. IMPERVIOUS 54.6%
 PROP. PERVIOUS 45.4%

PAVEMENT MARKINGS & SIGNAGE

- 1 DIRECTIONAL ARROWS
- 2 24" WIDE WHITE STOP BAR W/ 24" STOP SIGN (R1-1)
- 3 PAVEMENT STRIPING (4" WHITE)
- 4 HANDICAP PAVEMENT SYMBOLS WITH HANDICAP SIGN
- 5 PEDESTRIAN CROSSWALK
- 6 PEDESTRIAN ACCESS

SITE NOTES

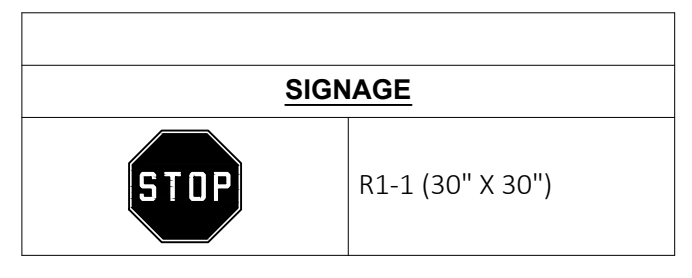
- 1 RESERVED
- 2 FDOT TYPE D CURB
- 3 RESERVED
- 4 ASPHALT PAVEMENT
- 5 CONCRETE SIDEWALK
- 6 CONCRETE PAVEMENT
- 7 BIKE RACK
- 8 RESERVED
- 9 RESERVED
- 10 RESERVED
- 11 DUMPSTER ENCLOSURE
- 12 RESERVED
- 13 RESERVED
- 14 WHEEL STOP
- 15 RESERVED
- 16 RESERVED

LEGEND:

NUMBER OF PARKING

BUILDING BREAKDOWN:

SCHOOL BUILDING AT 26,817 SF

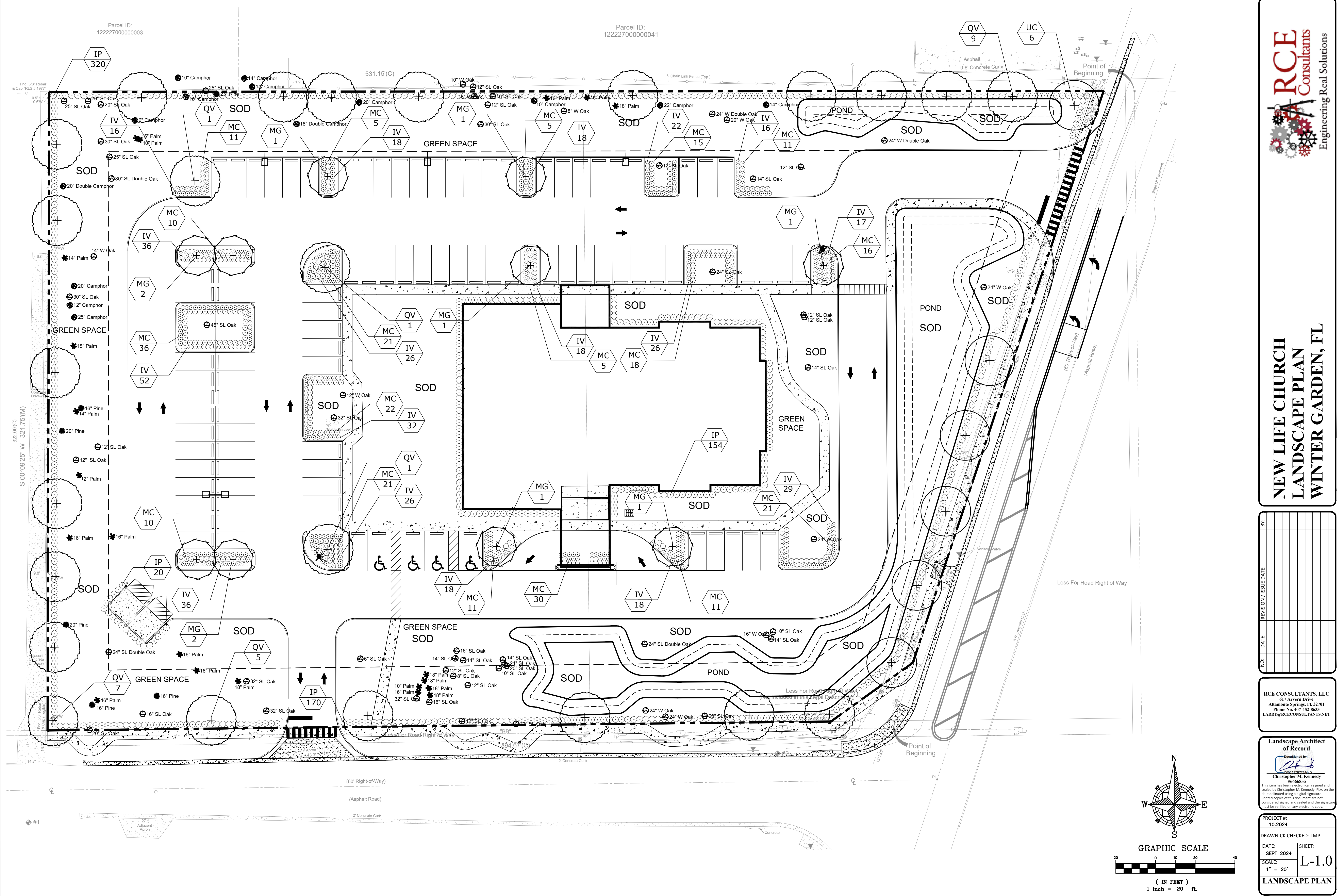


NO.	DATE	REVISION / ISSUE DATE	BY:

RCE CONSULTANTS, LLC
 617 ARVERN DRIVE
 ALTAMONTE SPRINGS, FL 32701
 PHONE NO. 407-452-8633
 LARRY@RCECONSULTANTS.NET

Engineer of Record
 Laurence Poliner
 #56974
This item has been electronically signed and sealed by Laurence Poliner, P.E., on the date delineated using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.

PROJECT #: 17.2024
 DRAWN: SK CHECKED: LMP
 DATE: JAN 2025 SHEET: C-3
 SCALE: 1"=30'
SITE PLAN



NEW LIFE CHURCH LANDSCAPE PLAN WINTER GARDEN, FL

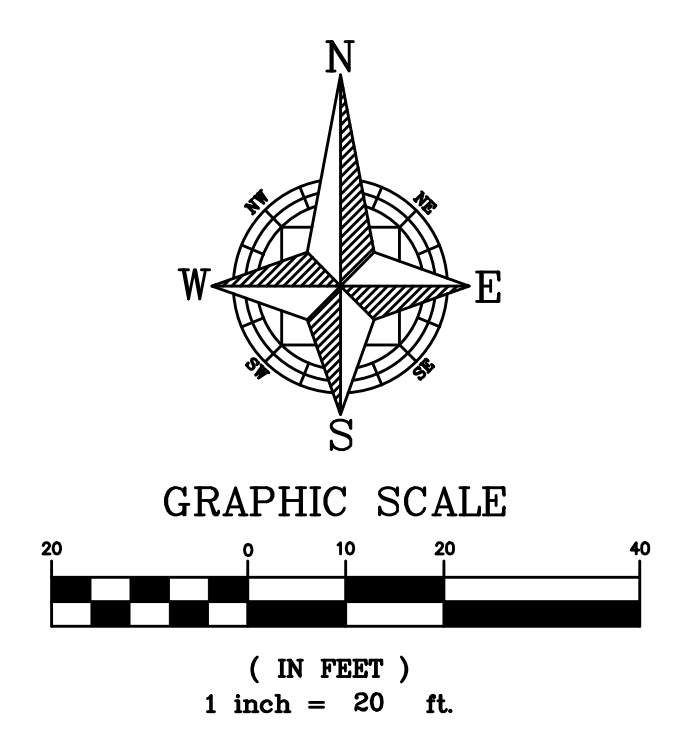
NO.	DATE:
REVISION / ISSUE DATE:	
BY:	

RCE CONSULTANTS, LLC
617 Arvera Drive
Altamonte Springs, FL 32701
Phone No. 407-452-8633
LARRY@RCECONSULTANTS.NET

**Landscape Architect
of Record**
DocuSigned by:

Christopher M. Kennedy
#666855
This item has been electronically signed and sealed by Christopher M. Kennedy, P.L.A. on the date delineated using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.

PROJECT #: 10.2024
DRAWN/CK CHECKED: LMP
DATE: SEPT 2024 SHEET: L-1.0
SCALE: 1" = 20'
LANDSCAPE PLAN



PLANT LIST:

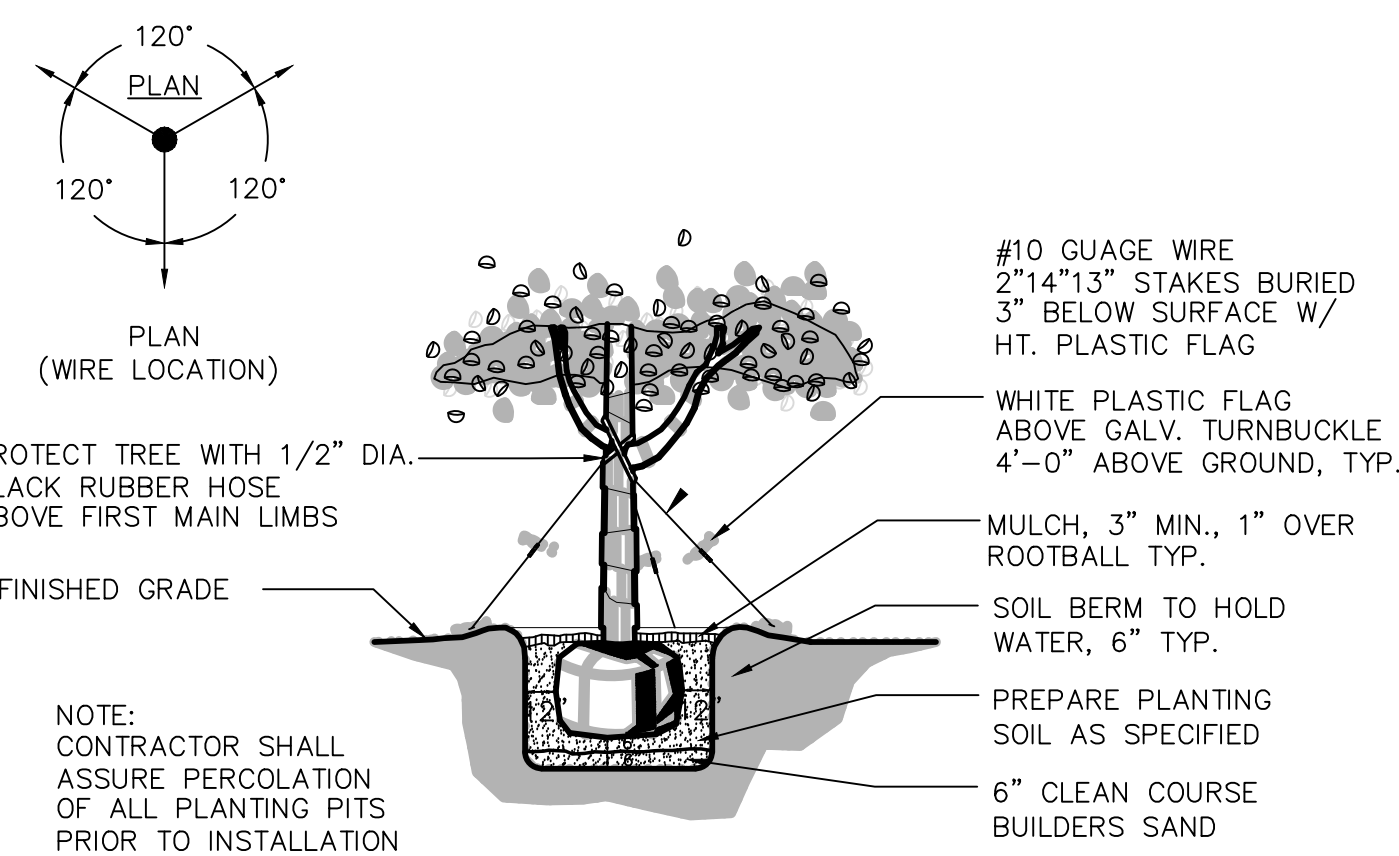
QTY.	ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE & SPECIFICATION
TREES				
10	MG	Magnolia grandiflora 'D.D. Blanchard'	Magnolia 'D.D. Blanchard'	65 Gallon, 3 1/2" Caliper
24	QV	Quercus virginiana	Live Oak	65 Gallon, 3 1/2" Caliper
6	UC	Ulmus chinensis 'Allee'	Allee Elm	65 Gallon, 3 1/2" Caliper
SHRUBS, VINES & GROUND COVER				
564	IP	Illicium parviflorum	Yellow Anise	30" Min. Ht., 3 Gal. 36" O.C.
452	IV	Ilex vomitoria 'Schillings Dwarf'	Dwarf Yaupon Holly	24" Min. Ht., 3 Gal. 24" O.C.
248	MC	Muhlenbergia capillaris	Muhly Grass	30" Min. Ht., 3 Gal., 18" O.C.
SOD & MISCELLANEOUS ITEMS				
SOD	Paspalum notatum	Bahia Solid Sod	SOLID SOD, SOD WILL NOT BE IRRIGATED	
MULCH	Shredded Melaleuca Mulch			

LANDSCAPE NOTES:

- All plant material shall be Florida Grade No. 1 or better as specified in "Grades and Standards for Nursery Plants", "Parts 1 and 2, by Division of Plant Industry, Florida", Department of Agriculture and Consumer Services, and shall conform to current American Association of Nurserymen 'Standards for Nursery Stock', latest edition.
- The landscape contractor shall be responsible for verification of quantities the plant list. In the event of a conflict between quantities on the plant list and the plans, the plans shall control and the discrepancy shall be brought to the attention of the landscape architect prior to bid. Any deviation from these plans must be approved by the Landscape Architect or owner's representative.
- Contractor is responsible for compliance with all applicable building codes, ordinances and local regulations. The contractor shall be responsible for obtaining all necessary permits to perform the work.
- The landscape contractor is responsible for inspection of existing conditions and promptly reporting all discrepancies and improper conditions (wetness, muck, debris, ect) to the Landscape Architect prior to bidding. Contractor is responsible for soil analysis prior to installation of plantings, and is responsible for all soil amendments to conform to specifications.
- All tree material shall be container grown unless otherwise specified.
- The landscape contractor shall acquaint himself with all civil drawings as they relate to paving, site grading, and all utilities, (including water, sewer and electrical supply) to preclude any misunderstanding and ensure trouble free installation. The exact location of all existing structures, underground utilities, existing underground sprinklers and pipe may not be indicated on drawings. The contractor shall conduct his work in a manner to prevent interruption or damage to existing systems which must remain operational. The contractor shall protect utility services which must remain operational and shall be responsible for their replacement if damaged by him.
- Mulch shall be organic and shall not be placed on top of the root ball or placed against the trunk. Mulch shall be applied a minimum of 12" to 18" from the trunk of any sized tree. Materials such as rock and shells that do not biodegrade, are not deemed acceptable. Failure to install mulch (and type of mulch) as provided in the specification above may result in a failed inspection. See <http://hort.ifas.ufl.edu/woody/over-mulching.html> for more information.
- Refer to specifications for complete requirements.
- In the event of a conflict between quantities on the plant list and the plans, the plan shall take precedent.

IRRIGATION NOTES:

- All landscaped areas shall be irrigated with a permanent automatic irrigation system providing 100% coverage.
- An automatic moisture sensor/shutoff shall be part of the system.
- All tree, shrub, and groundcover material proposed for this site is medium to low water use. Micro or drip irrigation will be installed in these beds.

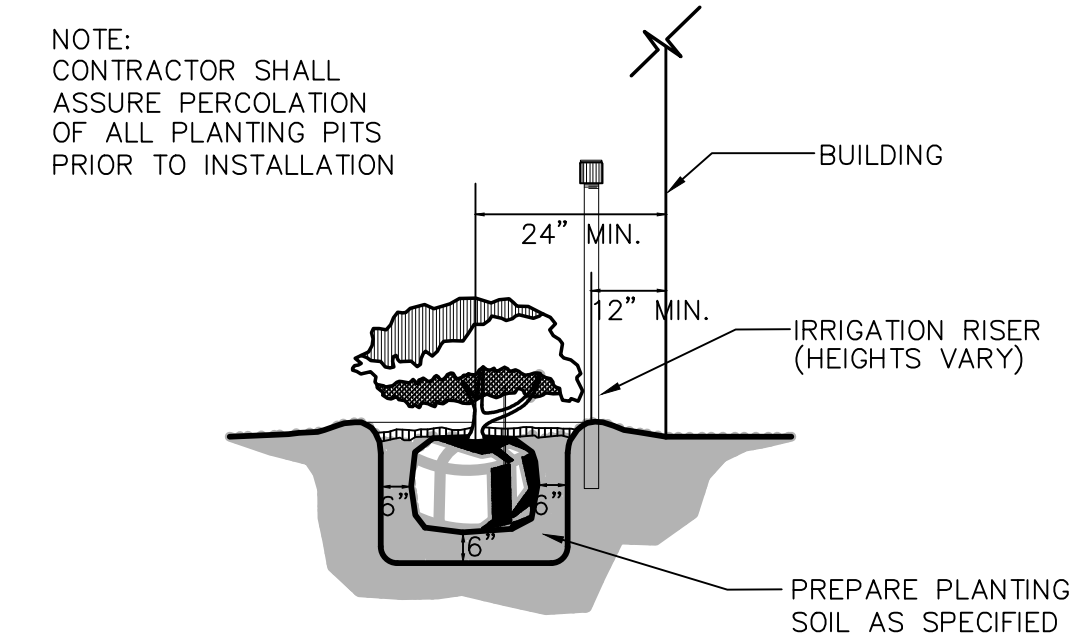


LARGE TREE DETAIL

Scale: N.T.S. 1/L-2.0

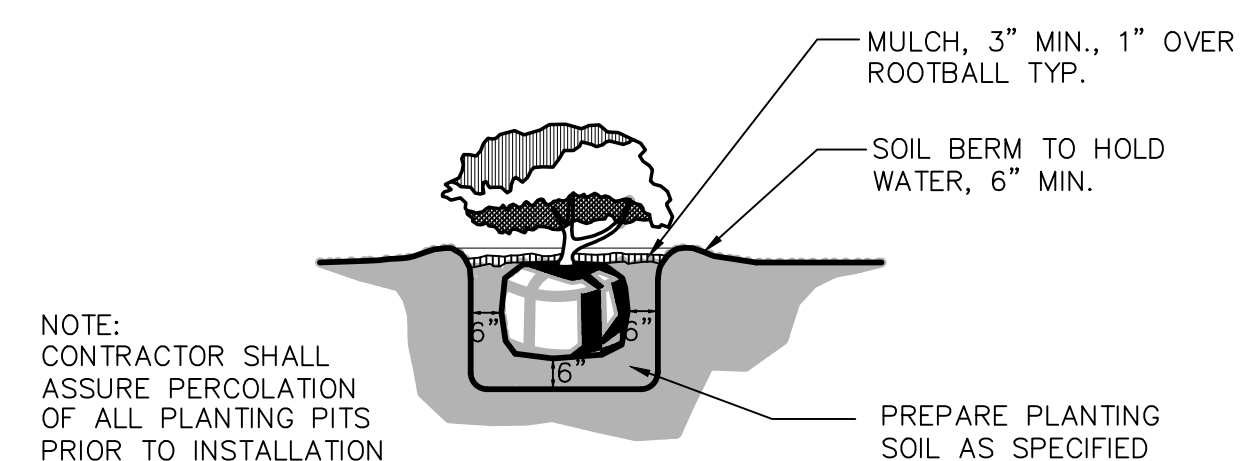
CHART FOR IRRIGATION RISER HEIGHT:

IRRIGATION RISER HEIGHT	
24"	INSTALLED IN GROUNDCOVER BED
30"	INSTALLED IN SHRUB BED



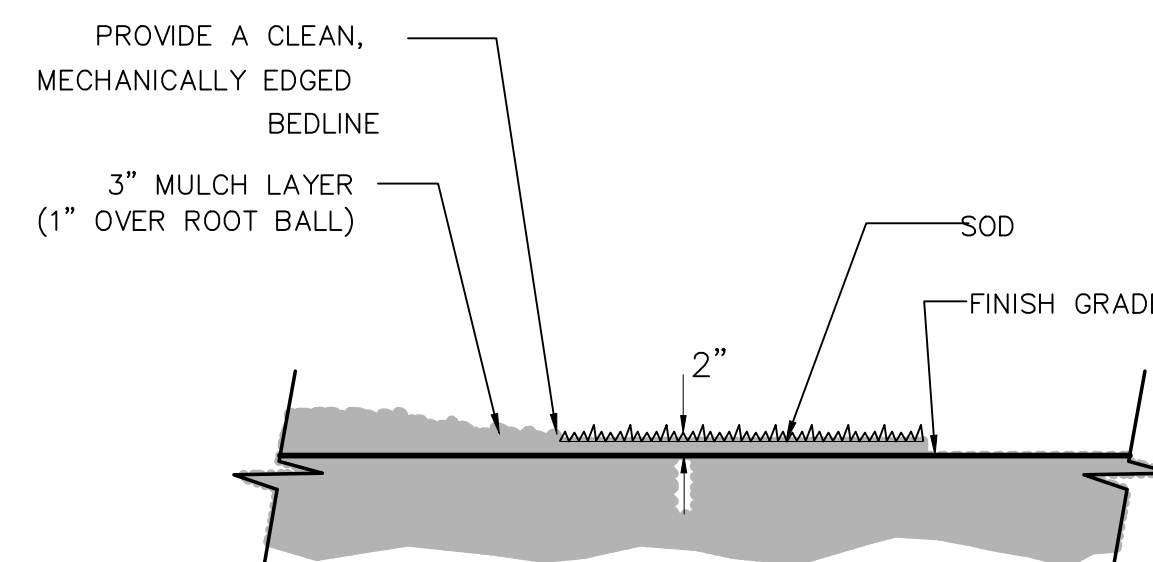
SHRUBS/GROUNDCOVER ADJACENT TO BUILDING

Scale: N.T.S. 2/L-2.0



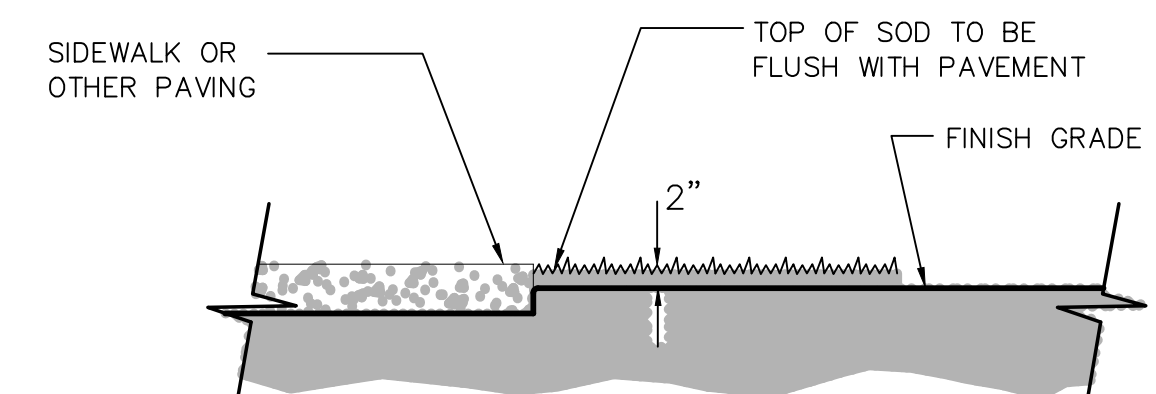
SHRUB DETAIL

Scale: N.T.S. 3/L-2.0



SOD PLACEMENT ADJ. TO MULCH

Scale: N.T.S. 4/L-2.0



SOD PLACEMENT ADJ. TO PAVEMENT

Scale: N.T.S. 5/L-2.0



**NEW LIFE CHURCH
LANDSCAPE DETAILS
WINTER GARDEN, FL**

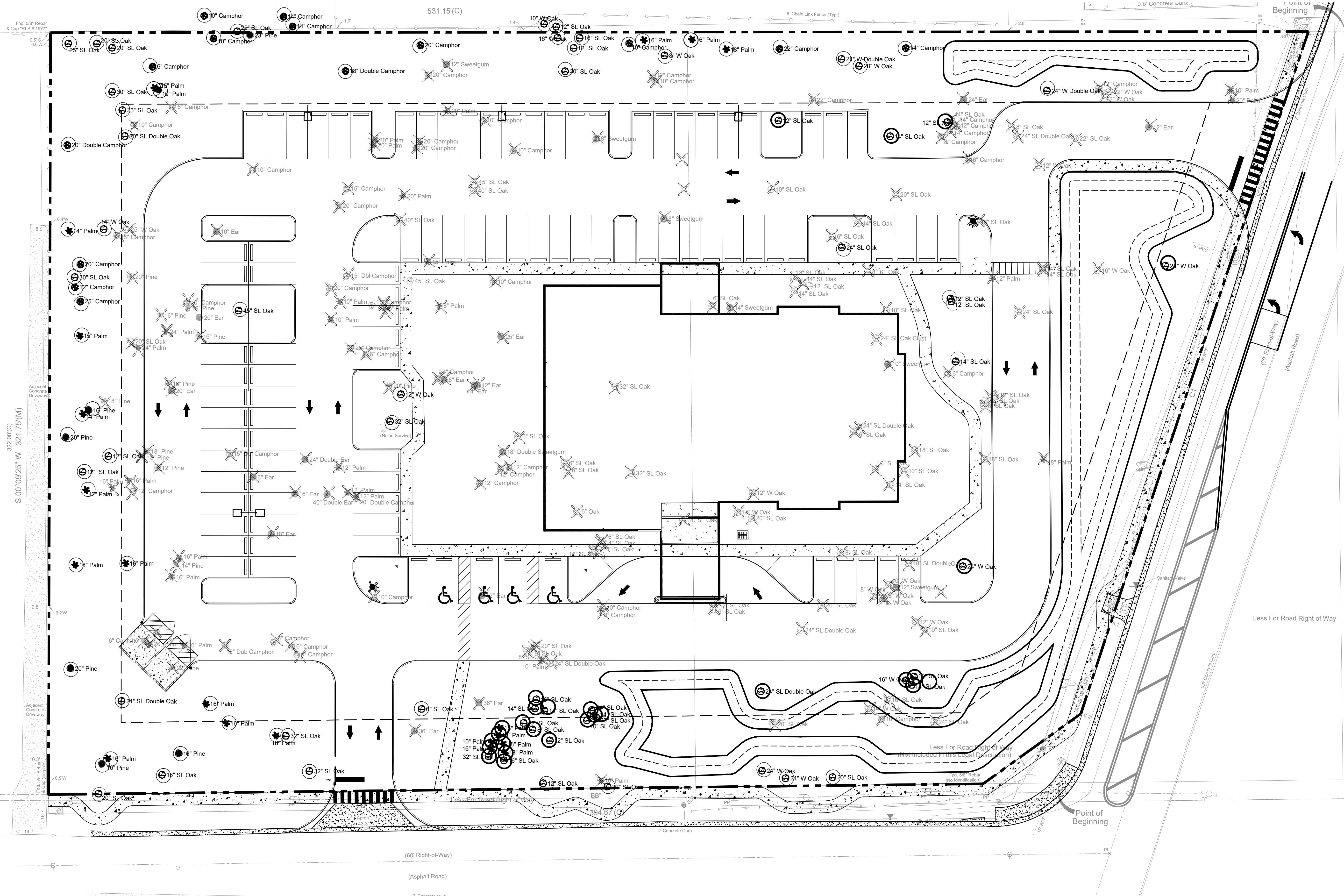
BY:	
REVISION / ISSUE DATE:	
DATE:	
NO:	

RCE CONSULTANTS, LLC
617 Arvera Drive
Altamonte Springs, FL 32701
Phone No. 407-452-8633
LARRY@RCECONSULTANTS.NET

Landscape Architect of Record
Designed by:

Christopher M. Kennedy
#666855
This item has been electronically signed and sealed by Christopher M. Kennedy, P.L.A. on the date delineated using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.

PROJECT #: 10.2024	
DRAWN/CK CHECKED: LMP	
DATE: SEPT 2024	SHEET: L-2.0
SCALE: 1" = 20'	
LANDSCAPE DETAILS	



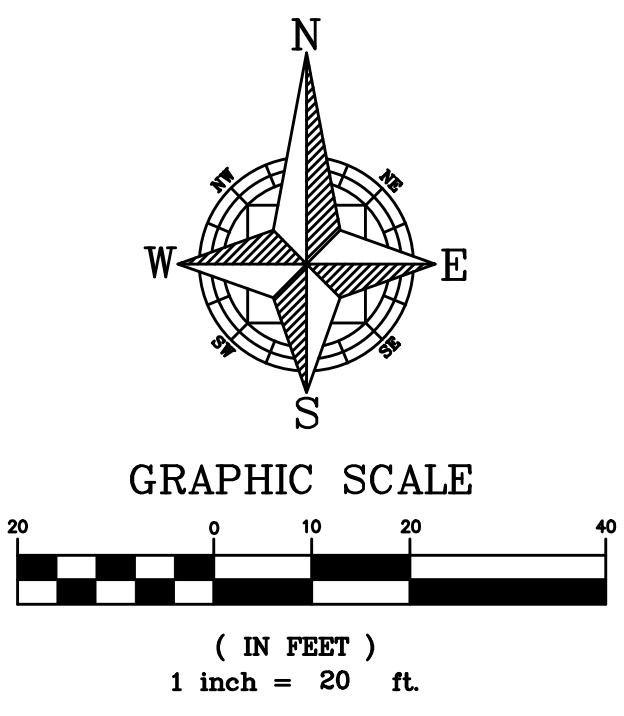
**NEW LIFE CHURCH
TREE PROTECTION PLAN
WINTER GARDEN, FL**

NO.	DATE	REVISION / ISSUE DATE	BY:

RCE CONSULTANTS, LLC
617 Arvera Drive
Altamonte Springs, FL 32701
Phone No. 407-452-8633
LARRY@RCECONSULTANTS.NET

**Landscape Architect
of Record**
DocuSigned by:
Christopher M. Kennedy
Christopher M. Kennedy
#666855
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PROJECT #: 10.2024
DRAWN/CK CHECKED: LMP
DATE: SEPT 2024 SHEET: T-1.0
SCALE: 1" = 20'
TREE PROTECTION PLAN



INVASIVE TREES

NUMBER	NORTHING	EASTING	SIZE	TYPE	SAVE	REMOVE
187	1548154.27	476054.836		10 CAMPHOR	OFFSITE	
208	1548153.95	476088.272		14 CAMPHOR	OFFSITE	
209	1548149.78	476092.124		14 CAMPHOR	OFFSITE	
151	1548049.35	476002.513		20 CAMPHOR	X	
153	1548039.8	476000.182		12 CAMPHOR	X	
154	1548033.7	476002.443		25 CAMPHOR	X	
188	1548144.74	476058.685		10 Camphor	X	
189	1548099.67	475997.002		20 Camphor	X	
210	1548132.83	476032.977		6 CAMPHOR	X	
216	1548131.06	476114.252		18 CAMPHOR	X	
217	1548141.86	476146.08		20 CAMPHOR	X	
237	1548142.66	476234.28		10 CAMPHOR	X	
414	1548140.5	476297.667		22 CAMPHOR	X	
424	1548140.69	476351.096		14 CAMPHOR	X	
90	1547893.96	476034.612		20 CAMPHOR		X
148	1548061.77	476017.831		15 CAMPHOR		X
160	1548044.55	476114.964		15 CAMPHOR		X
163	1548074.06	476111.415		20 CAMPHOR		X
164	1548081.36	476114.865		15 CAMPHOR		X
167	1548089.24	476075.294		10 CAMPHOR		X
183	1548108.23	476025.141		10 CAMPHOR		X
193	1548014.04	476116.655		25 CAMPHOR		X
194	1548039.32	476107.67		20 CAMPHOR		X
201	1548041.89	476176.825		10 CAMPHOR		X
211	1548115.8	476041.58		6 CAMPHOR		X
218	1548129.26	476149.37		20 CAMPHOR		X
223	1547969.41	476065.351		15 CAMPHOR		X
239	1548128.51	476243.852		12 CAMPHOR		X
244	1548126.62	476245.317		10 CAMPHOR		X
266	1547957.1	476170.926		12 CAMPHOR		X
277	1547904.32	476222.903		10 CAMPHOR		X
278	1547903.23	476222.425		8 CAMPHOR		X
307	1547888.63	476063.546		12 CAMPHOR		X
362	1547857.31	476340.817		10 CAMPHOR		X
413	1548118.83	476311.595		22 CAMPHOR		X
447	1548123.89	476432.468		12 CAMPHOR		X
197	1548101.16	476145.598		20 CAMPHOR		X
199	1548098.4	476144.304		20 CAMPHOR		X
89	1547890.25	476029.788		6 CAMPHOR		X
120	1547953.74	476024.91		12 CAMPHOR		X
259	1548001.04	476153.497		24 CAMPHOR		X
264	1547963.72	476183.291		12 CAMPHOR		X
265	1547963.18	476179.917		12 CAMPHOR		X
422	1548105.8	476369.557		14 CAMPHOR		X
423	1548107.81	476371.943		14 CAMPHOR		X
435	1548107.72	476372.577		12 CAMPHOR		X
436	1548103.33	476365.862		8 CAMPHOR		X
142	1548033.13	476047.434		10 CAMPHOR		X
221	1548032.21	476125.602		15 CAMPHOR		X
231	1548110.12	476172.38		10 CAMPHOR		X
238	1548097.4	476185.211		10 CAMPHOR		X
254	1548011.29	476122.852		6 CAMPHOR		X
308	1547889.9	476084.277		6 CAMPHOR		X
309	1547887.87	476091.788		6 CAMPHOR		X
310	1547884.6	476093.757		6 CAMPHOR		X
311	1547908.74	476126.469		10 CAMPHOR		X
312	1547950.38	476118.902		20 CAMPHOR		X
385	1548003.13	476368.838		6 CAMPHOR		X
437	1548093.4	476377.458		6 CAMPHOR		X

CAMPHOR TREE TOTALS:

TOTAL CAMPHOR TREES SAVED: 11 TREES 177 INCHES
 TOTAL CAMPHOR TREES REMOVED: 45 TREES 574 INCHES

NUMBER	NORTHING	EASTING	SIZE	TYPE	SAVE	REMOVE
126	1547935.54	476083.1		18 EAR		X
139	1547996.04	476040.896		20 EAR		X
145	1548063.26	476059.963		10 EAR		X
200	1548018.91	476180.116		25 EAR		X
303	1547852.34	476143.483		36 EAR		X
433	1548119.02	476375.562		24 EAR		X
293	1547864.22	476170.756		36 EAR		X
127	1547952.46	476093.089		16 EAR		X
128	1547966.97	476097.307		24 EAR		X
143	1548026.97	476052.722		20 EAR		X
159	1547952.24	476106.704		40 EAR		X
222	1547959.54	476075.413		6 EAR		X
260	1548000.7	476156.082		8 EAR		X
261	1547998.37	476170.138		12 EAR		X
262	1547998.36	476168.836		14 EAR		X
276	1547909.54	476172.072		12 EAR		X
450	1548107.35	476453.694		12 EAR		X

EAR TREE TOTALS:

TOTAL EAR TREES SAVED: 0 TREES 0 INCHES
 TOTAL EAR TREES REMOVED: 17 TREES 333 INCHES

NUMBER	NORTHING	EASTING	SIZE	TYPE	SAVE	REMOVE
219	1548133.78	476157.064		12 GUM		X
245	1548068.54	476248.939		8 GUM		X
388	1548007.21	476343.495		10 GUM		X
377	1547912.93	476346.947		12 GUM		X

GUM TREE TOTALS:

TOTAL GUM TREES SAVED: 0 TREES 0 INCHES
 TOTAL GUM TREES REMOVED: 4 TREES 42 INCHES

NUMBER	NORTHING	EASTING	SIZE	TYPE	SAVE	REMOVE
232	1548150.973	476198.328		10 WATEROAK	OFFSITE	
233	1548149.762	476203.429		12 SAND LIVE OAK	OFFSITE	
302	1547861.63	476146.59		6 SAND LIVE OAK	X	
292	1547852.939	476193.44		8 SAND LIVE OAK	X	
286	1547856.829	476216.399		10 SAND LIVE OAK	X	
356	1547875.261	476354.534		10 SAND LIVE OAK	X	
116	1547961.784	476003.406		12 SAND LIVE OAK	X	
125	1547968.403	476014.336		12 SAND LIVE OAK	X	
290	1547855.725	476189.7		12 SAND LIVE OAK	X	
334	1547830.22	476197.922		12 SAND LIVE OAK	X	
291	1547848.305	476200.768		12 SAND LIVE OAK	X	
236	1548140.742	476210.811		12 SAND LIVE OAK	X	
416	1548110.116	476297.271		12 SAND LIVE OAK	X	
434	1548109.435	476368.526		12 SAND LIVE OAK	X	
392	1548034.901	476369.92		12 SAND LIVE OAK	X	
391	1548033.74	476370.394		12 SAND LIVE OAK	X	
289	1547861.845	476194.528		14 SAND LIVE OAK	X	
288	1547860.906	476198.526		14 SAND LIVE OAK	X	
284	1547861.204	476218.454		14 SAND LIVE OAK	X	
420	1548103.48	476344.519		14 SAND LIVE OAK	X	
359	1547871.804	476353.61		14 SAND LIVE OAK	X	
421	1548110.647	476370.392		14 SAND LIVE OAK	X	
386	1548008.411	476372.183		14 SAND LIVE OAK	X	
85	1547833.81	476036.985		16 SAND LIVE OAK	X	
296	1547839.891	476181.365		16 SAND LIVE OAK	X	
287	1547865.667	476195.086		16 SAND LIVE OAK	X	
235	1548145.029	476213.336		16 SAND LIVE OAK	X	
357	1547873.676	476351.13		16 SAND LIVE OAK	X	
180	1548142.589	476009.473		20 SAND LIVE OAK	X	
77	1547825.812	476010.164		20 SAND LIVE OAK	X	
179	1548140.853	476015.886		20 SAND LIVE OAK	X	
331	1547858.068	476220.375		20 SAND LIVE OAK	X	
365	1547832.819	476320.1		20 SAND LIVE OAK	X	
86	1547865.004	476019.858		24 SAND LIVE OAK	X	
285	1547858.677	476219.25		24 SAND LIVE OAK	X	
363	1547869.078	476289.834		24 SAND LIVE OAK	X	
398	1548056.543	476324.055		24 SAND LIVE OAK	X	
353	1547921.857	476375.134		24 SAND LIVE OAK	X	
186	1548142.59	475997.413		25 SAND LIVE OAK	X	
157	1548114.482	476020.222		25 SAND LIVE OAK	X	
206	1548147.745	476088.713		25 SAND LIVE OAK	X	
152	1548043.977	476000.096		30 SAND LIVE OAK	X	
158	1548122.255	476015.902		30 SAND LIVE OAK	X	
198	1548130.893	476207.2		30 SAND LIVE OAK	X	
305	1547850.277	476089.241		32 SAND LIVE OAK	X	
304	1547835.431	476099.21		32 SAND LIVE OAK	X	
257	1547983.094	476133.282		32 SAND LIVE OAK	X	
294	1547841.633	476174.934		32 SAND LIVE OAK	X	
333	1547828.813	476225.088		32 SAND LIVE OAK	X	
146	1548029.863	476069.331		45 SAND LIVE OAK	X	
156	1548103.551	476021.24		80 SAND LIVE OAK	X	
NUMBER	NORTHING	EASTING	SIZE	TYPE	SAVE	REMOVE
240	1548137.59	476249.184		8 WATEROAK	X	
256	1547994.472	476137.864		12 WATEROAK	X	
149	1548064.286	476012.378		14 WATEROAK	X	
234	1548145.048	476204.044		16 WATEROAK	X	
358	1547865.605	476343.303		16 WATEROAK	X	
419	1548133.175	476331.304		20 WATEROAK	X	
367	1547835.558	476290.345		24 WATEROAK	X	
366	1547832.381	476300.288		24 WATEROAK	X	
418	1548136.101	476323.895		24 WATEROAK	X	
440	1548122.732	476410.646		24 WATEROAK	X	
446	1548048.777	476460.676		24 WATEROAK	X	

OAK TREE TOTALS:

TOTAL WATER OAK TREES SAVED: 11 TREES 206 INCHES
 TOTAL WATER OAK TREES REMOVED: 18 TREES 143 INCHES
 TOTAL SAND LIVE OAK TREES SAVED: 49 TREES 1,002 INCHES
 TOTAL SAND LIVE OAK TREES REMOVED: 58 TREES 958 INCHES

TREE CALCULATIONS:

TOTAL WATER OAK TREES SAVED: 11 TREES 206 INCHES
 TOTAL WATER OAK TREES REMOVED: 18 TREES 143 INCHES
 TOTAL SAND LIVE OAK TREES SAVED: 49 TREES 1,002 INCHES
 TOTAL SAND LIVE OAK TREES REMOVED: 58 TREES 958 INCHES
 TOTAL SWEETGUM TREES SAVED: 0 TREES 0 INCHES
 TOTAL SWEETGUM TREES REMOVED: 3 TREES 40 INCHES
 TOTAL PINE TREES SAVED: 6 TREES 111 INCHES
 TOTAL PINE TREES REMOVED: 12 TREES 206 INCHES
 TOTAL PALM TREES SAVED: 19 TREES 278 INCHES
 TOTAL PALM TREES REMOVED: 29 TREES 447 INCHES
 TOTAL TREES SAVED: 85 TREES 1,597 INCHES
 TOTAL TREES REMOVED: 116 TREES 1,834 INCHES

INVASIVES

TOTAL CAMPHOR TREES REMOVED: 45 TREES 574 INCHES
 TOTAL EAR TREES REMOVED: 17 TREES 333 INCHES
 TOTAL GUM TREES REMOVED: 4 TREES 42 INCHES

TOTAL INVASIVES REMOVED: 66 TREES 949 INCHES

NUMBER	NORTHING	EASTING	SIZE	TYPE	SAVE	REMOVE
267	1547976.867	476187.185		6 SAND LIVE OAK		X
268	1547965.542	476206.814		6 SAND LIVE OAK		X
269	1547962.564	476208.028		6 SAND LIVE OAK		X
270	1547945.092	476212.139		6 SAND LIVE OAK		X
405	1548031.842	476269.19		6 SAND LIVE OAK		X
336	1547903.57	476269.763		6 SAND LIVE OAK		X
399	1548061.183	476319.982		6 SAND LIVE OAK		X
342	1547978.778	476329.104		6 SAND LIVE OAK		X
382	1547989.679	476383.791		6 SAND LIVE OAK		X
281	1547886.186	476191.016		8 SAND LIVE OAK		X
280	1547886.928	476193.153		8 SAND LIVE OAK		X
345	1547927.806	476323.45		8 SAND LIVE OAK		X
396	1548046.178	476334.929		8 SAND LIVE OAK		X
438	1548107.454	476395.686		8 SAND LIVE OAK		X
417	1548081.099	476294.227		10 SAND LIVE OAK		X
403	1548043.178	476303.657		10 SAND LIVE OAK		X
343	1547962.977	476338.31		10 SAND LIVE OAK		

Exhibit "C"

COVER PAGE

**NEW LIFE SLAVIC CHRISTIAN
MISSIONARY CHURCH**

**PUD ARCHITECTURAL AND
DESIGN STANDARDS
(4 PAGES – ATTACHED)**

NARRATIVE

Building Materials, Finishes & Color Palette

New Life Church

The base structure is a **Pre-Engineered Metal Building (PEMB)**, incorporating high-quality materials and refined finishes:

- **Roof:** Standing seam black metal roof, utilizing a concealed clip system for a seamless appearance. The integrated overhangs that soften the building's silhouette and minimize any commercial aesthetic.
- **Walls:** Standard **PBR metal panels**, rated to support substrate and **stucco application**. Painted in **clean, elegant white**, the wall surfaces project simplicity and openness.
- **Soffits & Overhang:** Pre-finished in **metal panels** with architectural detail to enhance elegance and soften the perimeter.
- **Stone Accents:** Natural stone cladding has been added along multiple façade sections, in shades of **white and gray with subtle black undertones**, offering a sophisticated yet grounded aesthetic.
- **Window and Door Trim:** Painted in **black**, complementing the roof and accent stones while highlighting the building's geometry.

This color and material combination ensures clarity, modernity, and subtle refinement, creating a space that uplifts without overwhelming.

In closing:

This project has undergone thorough planning and refinement over the past year and a half. The renderings, site plan, and architectural drawings submitted as part of this packet fully illustrate the design intent, building proportions, and aesthetic appeal.

New Life Church stands ready to begin construction, offering a beacon of hope and gathering for the Winter Garden community. We respectfully request this project be advanced to the citizen's meeting, where we will present all relevant documentation including full-size 24x36 drawings.

The design team has responded to all feedback and ensured alignment between the site plan, elevations, and renderings. We humbly ask for your support in moving this transformative project to the next stage.

Steven G Anderson

Agent for new life church

East Front and South Side Elevation



East Front and North Side Elevation



East Front Elevation



West Rear and East Side Elevation



West Rear and North Side Elevation



West Rear Elevation



CITY OF WINTER GARDEN PLANNING & ZONING DIVISION

300 West Plant Street – Winter Garden, Florida 34787-3011 (407) 656-4111

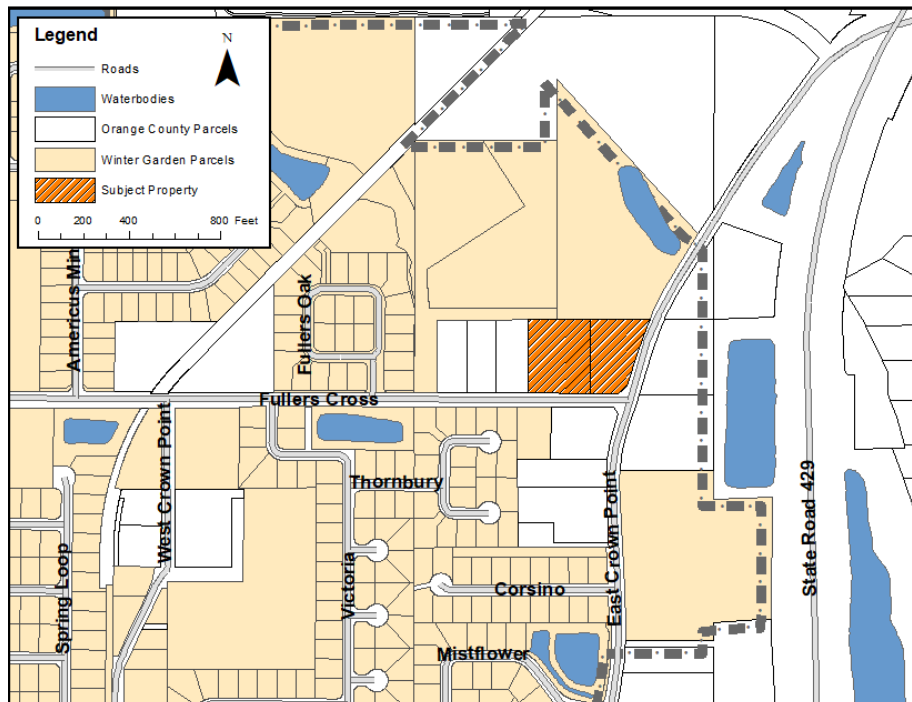
STAFF REPORT

TO: PLANNING & ZONING BOARD
PREPARED BY: YVONNE CONATSER, SENIOR PLANNER
DATE: MARCH 2, 2026
SUBJECT: ANNEXATION - FLU – REZONING
1414 East Crown Point Road and 1325 East Fullers Cross Road
(3.52 +/- ACRES)
PARCEL ID#: 12-22-27-0000-00-045; 12-22-27-0000-00-002
APPLICANT: New Life Slavic Christian Missionary Church

INTRODUCTION

The purpose of this report is to evaluate the proposed annexation, future land use designation and zoning for compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 1414 East Crown Point Road and 1325 East Fullers Cross Road, at the intersection of East Crown Point Road and East Fullers Cross Road, herein known as “the subject property”. The property is approximately 3.52 +/- acres in size. The map below depicts the proximity of the subject property to the City’s jurisdictional limits.



The subject property is currently located in unincorporated Orange County, is designated Low Density Residential per the County Future Land Use Map and is zoned A-1 Citrus Rural District. The applicant is requesting annexation into the City (Ordinance 26-01), an amendment to the Future Land Use Map of the City's Comprehensive Plan to designate the property as Low Density Residential (Ordinance 26-02), and to rezone the property to PUD, Planned Unit Development (Ordinance 26-03) for church/religious use only.

In accordance with the City's Comprehensive Plan, properties designated with the Low Density Residential land use category may be developed at a gross residential density between 2 to 6 dwelling units per gross acre and up to 9 units per gross acre for workforce/low income housing with a maximum of 10 acres and will be identified on the Future Land Use Map only in areas that have the urban services and public facilities that can accommodate a higher density of residential housing. Factors in determining the location of this land use category included proximity to natural resources and urban services, availability of public facilities and the characteristics of nearby existing and future neighborhoods. Churches and schools are allowable uses in the Low Density areas that are zoned R-2 and in specified areas of PUDs and via a Special Exception Permit in all other allowable zoning classifications. The zoning classifications that are consistent with the Low Density Residential classification are PUD, R-1A, R-1, R-2, R-1B, and INT.

EXISTING USE

The subject property consists of two vacant parcels.

ADJACENT LAND USE AND ZONING

The property to the north is the Hope Charter School, zoned R-1 and designated low density residential. The property to the northwest is used as pasture per Orange County Property Appraisers, zoned R-1 and designated low density residential. Both properties are located in the City of Winter Garden. The properties to the south are developed with single family residences. The property at 1406 East Crown Point Road is zoned A-1 and located in unincorporated Orange County. The property at 1302 East Fullers Cross Road is zoned R-1 and located in the City of Winter Garden. The properties to the east and west are developed with a single family residences, zoned A-1, and located in unincorporated Orange County.

PROPOSED USE

The applicant has requested to annex the property into the City, amend the land use to low density residential, and rezone to a PUD (planned unit development) to allow the construction of an 11,162 +/- square foot church. The church building would contain a one story worship area with 286 seats and would be connected with a two story area for offices and meeting rooms.

The development will have 30 foot landscaped buffers along all property boundaries which will allow the applicant to preserve many of the mature trees at the boundary of the property. The property will have two access points, one from East Fullers Cross Road and the other along East Crown Point Road. The applicant will stripe a designated left turning lane along East Crown Point Road to assist with traffic turning into the property.

APPROVAL CRITERIA

In accordance with the City's Comprehensive Plan and Land Development Regulations, a proposed planned unit development and its associated preliminary development plan may be approved only after competent, substantial evidence has been presented which allows the following determinations to be made: (staff conclusions/findings are underlined)

1. The proposed PUD is consistent with the land development regulations, comprehensive plan and future land use map;

Based on the existing surrounding Low Density Residential Future Land Use designation, the proposed PUD zoning is consistent with the City's land development regulations, comprehensive plan and proposed future land use map amendment. PUD zoning is permitted with a Low Density Residential (LR) Future Land Use designation.

2. The proposed PUD will not substantially devalue or prevent reasonable use and enjoyment of the adjacent properties;

The proposed PUD project will not deprive or prevent adjacent property owners of any rights or abilities to enjoy or continue existing uses of their property or to develop their property in accordance with the city's land development regulations and comprehensive plan goals, objectives and policies. In accordance with land development regulations and the comprehensive plan, where appropriate, the proposed PUD project will be developed with one church/religious building, with appropriate parking and access, and will provide for adequate buffering against adjoining properties and rights-of-way in the form of a 30 foot landscaped buffer that will retain significant existing trees.

3. Adequate public infrastructure facilities and water and sewer service to support the development of the proposed PUD are available or an agreement or binding conditions have been established that will provide these facilities, improvements and services in a reasonable time frame;

The property will connect to City water and sewer services. All extension and connection costs shall be borne by the property owners. The applicant will provide a private lift station meeting all City requirements to support the development.

4. The proposed PUD will not allow a type or intensity of development that is premature or presently out of character in relation to the surrounding area;

The proposed PUD is consistent with the comprehensive plan's goals, objectives and policies for Low Density Residential future land use designation; the PUD zoning criteria; and the City's land development regulations. The proposed PUD is for one church/religious structure as allowed in PUD zones. It is not premature or presently out of character in relation to the surrounding area, also designated Low Density Residential.

5. The rezoning will not interfere with an adjacent property owner's reasonable expectation of use or enjoyment; and

In accordance with land development regulations and the comprehensive plan, where appropriate, the proposed PUD will provide for adequate buffering against adjoining properties and rights-of-

way in the form of landscaping. The church building will be setback from the surrounding properties and rights of way, providing for additional separation.

As part of the proposed PUD review, the City organized a community meeting to discuss the project on November 12, 2025, and there were no objections to the proposed church. However, the citizens did ask questions regarding the proposed church and expressed concerns regarding traffic. The applicant and staff addressed concerns and questions.

6. There is availability and adequacy of primary streets and thoroughfares to support the traffic to be generated within the proposed PUD and the surrounding area, or an agreement or binding conditions have been established that will provide such transportation facilities to support said traffic in a reasonable time frame.

The property is located at the intersection of East Fullers Cross Road and East Crown Point Road. The intersection is signalized. The adjacent streets have sufficient capacity to support the traffic generated by the church use. The corner property allows for two access points to distribute the trips between the two intersecting roadways. Further, the applicant will provide a designated left turn lane along East Crown Point Road to assist with access to the property and maintain through traffic.

7. The degree of departure and conformity of the proposed PUD with surrounding areas in terms of character and density.

The proposed PUD project conforms with the surrounding low density residential area and does not change the character of the area or the density. As mentioned above there are provisions in place like the signalized intersection that will assist in supporting the development of the proposed PUD project and help maintain the existing character of the area.

8. Compatibility of uses and improvements within the PUD and the relationship with surrounding existing or proposed developments.

There are several churches along East Crown Point Road. The proposed PUD project is compatible with the surrounding neighborhood residential and church properties and will maintain the low density quality of the area.

9. Prevention of erosion and degrading or enhancement of the surrounding areas.

The proposed PUD project will not erode or degrade the environmental quality of the surrounding area. Proper erosion and sedimentation control measures will be taken during the construction process.

10. Provision for surface drainage, flood control and soil conservation as shown in the preliminary development plan.

Stormwater management for the proposed PUD will be provided in on-site stormwater management areas to satisfy the City of Winter Garden and the St. John's River Water Management District.

11. The nature, intent and compatibility of any common open space, including the proposed method for the maintenance and conservation of the common open space.

The proposed PUD project will provide 30 foot buffers along all property boundaries.

12. The feasibility and compatibility of the specified stage(s) or phase(s) contained in the preliminary development plan to exist as an independent development.

The PUD is anticipated to be developed in one phase and will operate as a stand-alone development. However, if the applicant decides to phase the project, each phase of development of the proposed PUD project must operate as an individual unit in that each phase will be able to stand alone in the event that no other phase is developed.

13. The availability of existing or planned reclaimed water service to support the proposed PUD.

Reclaimed water capacity is available to serve the property on which the PUD is proposed to be developed. The project must make provisions for connection to reclaimed lines at the time of development and all connection costs shall be borne by the property owner.

14. The benefits within the proposed PUD development and to the general public to justify the requested departure from standard land use requirements inherent in a PUD classification.

The proposed PUD will have architectural design, setback and buffer requirements that are beneficial to the surrounding neighborhoods and general public.

15. The conformity and compatibility of the proposed common open space, residential and/or non residential uses within the proposed PUD.

The proposed PUD will have a 30' buffer and significant stormwater management features to comply with the City's requirements.

16. Architectural characteristics of proposed residential and/or non-residential development

The architecture characteristics of the proposed PUD project include stucco walls with stone accents, standing seam black metal roof, and entry features. The project is intended to conform with the property and not overwhelm the site.

17. A list of the specific types of nonresidential uses to be allowed.

The proposed PUD is for a church or other religious uses.

PUBLIC FACILITY ANALYSIS

The City will provide garbage collection, police protection and all other services regularly provided to City of Winter Garden properties. The property will be served by both Orange County Fire and Rescue and the City of Winter Garden Fire Department under the First Response System.

All future development of the property will be subject to all City of Winter Garden Code of Ordinance requirements to include but not limited to major site plan review and approval by the Development Review Committee and City Commission.

SUMMARY

Annexing the property, amending the Future Land Use from County Low Density Residential to City Low Density Residential and rezoning from County A-1 to City PUD is consistent with the City's

Comprehensive Plan, Future Land Use map and land development regulations, is consistent with the existing development in the area and maintains the existing low density character of the area. Therefore, the staff recommends approval of Ordinance 26-01, 26-02 and 26-03.

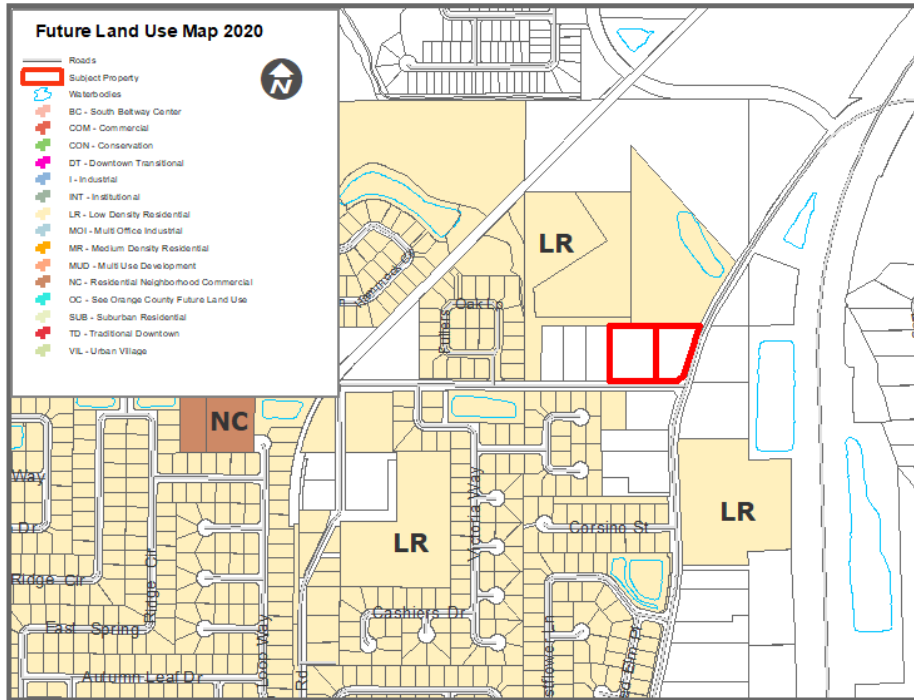
ATTACHMENTS

- Aerial Map
- Zoning Map
- Future Land Use Map
- Site Photos
- Ordinance 26-01, 26-02 and 26-03

AERIAL PHOTO
1414 East Crown Point Road and 1325 East Fullers Cross Road

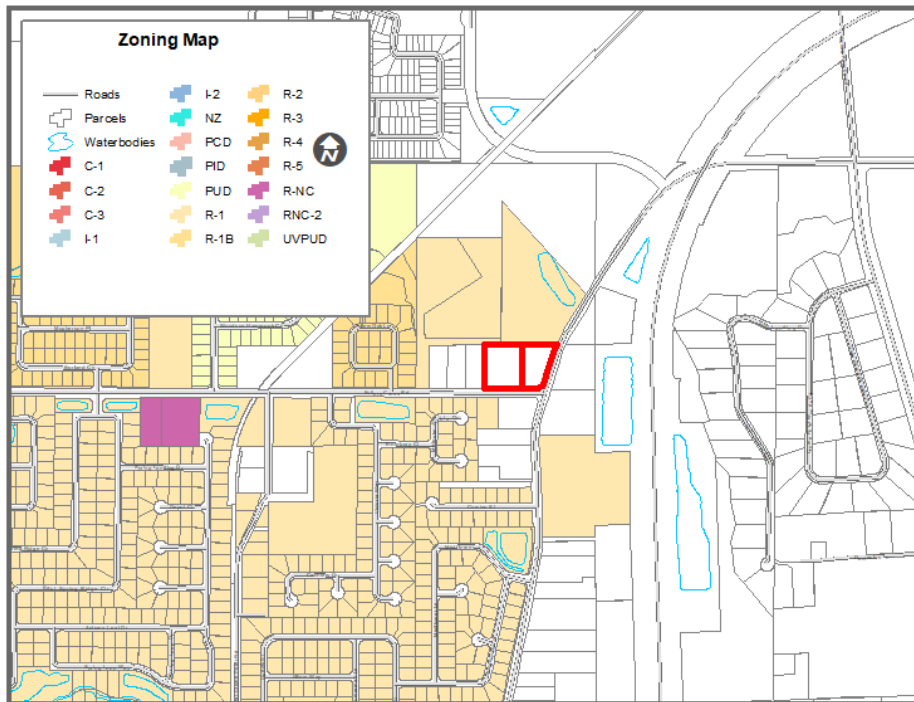


FUTURE LAND USE MAP 1414 East Crown Point Road and 1325 East Fullers Cross Road



ZONING MAP

1414 East Crown Point Road and 1325 East Fullers Cross Road



Site Photos

View along East Fullers Cross Road



View along East Crown Point Road



View from the intersection of East Crown Point Road and East Fullers Cross Road





Business Impact Estimate

This form should be included in agenda packet for the item under which the proposed ordinance is to be considered, and must be posted on the City’s website by the time notice of the proposed ordinance is published.

Proposed ordinance’s title/reference:
Proposed ordinance’s title/reference:
Ordinance 26-01, – Annexation of 1414 East Crown Point Road and 1325 East Fullers Cross Road
Parcel ID# 12-22-27-0000-00-045; 12-22-27-0000-00-002

This Business Impact Estimate is provided in accordance with Section 166.041(4), *Florida Statutes*. If one or more of the boxes are checked below, the checked exception(s) to the Business Impact Estimate requirement apply to the above-referenced proposed ordinance, although, the City is implementing the procedure otherwise required by law to ensure that no inadvertent procedural issue could impact the enactment of the proposed ordinance.

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant, or other financial assistance accepted by the
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- The proposed ordinance is enacted to implement the following:
 - a. Part II of Chapter 163, *Florida Statutes*, relating to growth policy, county and municipal planning, and land development regulation, including zoning, development orders, development agreements and development permits;
 - b. Sections 190.005 and 190.046, *Florida Statutes*, regarding community development districts;
 - c. Section 553.73, *Florida Statutes*, relating to the *Florida Building Code*; or
 - d. Section 633.202, *Florida Statutes*, relating to the *Florida Fire Prevention Code*.

In accordance with the provisions of controlling law, even notwithstanding the fact that, an exemption noted above may apply, the City hereby publishes the following information:

1. Summary of the proposed ordinance (must include statement of the public purpose, such as serving the public health, safety, morals, and welfare):

The proposed ordinance is intended to annex the 3.52 acre property into the City of Winter Garden to obtain City services for future development under a PUD, Planned Unit Development, for a church use.



2. Estimate of direct economic impact of the proposed ordinance on private, for-profit businesses in the City:

Once annexed into the City, the property will be assessed the City of Winter Garden Millage rate in addition to the Orange County taxes, until such time it is developed with the church use.

3. Estimate of direct compliance costs that businesses may reasonably incur:

The property owner will be responsible for all City permitting fees.

4. Any new charge or fee imposed by the proposed ordinance:

Once annexed into the City, the property will be assessed the City of Winter Garden Millage rate in addition to the Orange County taxes, until such time it is developed with the church use.

5. Estimate of the City's regulatory costs, including estimated revenues from any new charges or fees to cover such costs:

The estimated regulatory costs to the City are unknown as the proposed development is for a church use.

6. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

The estimated number of businesses impacted by the proposed development of the property is unknown.

7. Additional information (if any, but may wish to include the methodology used to derive information for #1 and #2, above. For example: City staff solicited comments from businesses in the City as to the potential impact of the proposed ordinance by contacting the chamber of commerce, social media posting, direct mail or direct email, posting on City website, public workshop, etc. You may also wish to include efforts made to reduce the potential fiscal impact on businesses based on feedback from businesses. You may also wish to state here that the proposed ordinance is a generally applicable ordinance that applies to all persons similarly situated (individuals as well as businesses) and, therefore, the proposed ordinance does not impose costs only upon businesses.):

The proposed ordinance is a generally applicable ordinance that applies to all persons similarly situated. Therefore, the proposed ordinance does not impose costs only upon businesses.

ORDINANCE 26-02

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA AMENDING THE FUTURE LAND USE MAP OF THE WINTER GARDEN COMPREHENSIVE PLAN BY CHANGING THE LAND USE DESIGNATION OF REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.50 ± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, FROM ORANGE COUNTY LOW DENSITY RESIDENTIAL TO CITY LOW DENSITY RESIDENTIAL; PROVIDING FOR SEVERABILITY; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, on the 13th of June, 1991, the City Commission of the City of Winter Garden adopted Ordinance 91-16 which adopted a new Comprehensive Plan for the City of Winter Garden, and on the 24th of June, 2010, the City Commission of the City of Winter Garden adopted Ordinance 10-19 readopting and amending the Comprehensive Plan for the City of Winter Garden;

WHEREAS, the owner of that certain real property generally described as approximately 1.50 acres located at 1414 East Crown Point Road, and approximately 2.02 ± acres located at 1325 East Fullers Cross Road, north of East Fullers Cross Road, south of Ocoee Crown Point Pkwy, east of Fullers Oak Loop and west of East Crown Point Road, and legally described in ATTACHMENT "A" (the "Property") has petitioned the City to amend the Winter Garden Comprehensive Plan to change the Future Land Use classification from Orange County Low Density Residential to City Low Density Residential; and

WHEREAS, the City of Winter Garden's Local Planning Agency and City Commission have conducted the prerequisite advertised public hearings pursuant to Chapter 163, Florida Statutes, regarding the adoption of this ordinance; now, therefore,

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION I. *FLUM Amendment.* The City of Winter Garden hereby amends the Future Land Use Map of the City of Winter Garden Comprehensive Plan by designating the aforesaid Property to City Low Density Residential as set forth in ATTACHMENT "B".

SECTION II. *Effective Date.* Provided that the Property described herein is annexed into the City of Winter Garden pursuant to Ordinance 26-01, this Ordinance shall become

effective 31 days after adoption, unless the Ordinance is timely challenged pursuant to § 163.3187(5), Fla. Stat., in which case, the Ordinance shall not be effective until the state land planning agency or the Administrative Commission, respectively, issues a final order determining that the adopted Ordinance is in compliance.

SECTION III. Severability. Should any portion of this Ordinance be held invalid, then such portions as are not declared invalid shall remain in full force and effect.

FIRST READING AND PUBLIC HEARING: _____, 2026.

SECOND READING AND PUBLIC HEARING: _____, 2026.

ADOPTED this _____ day of _____, 2026, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

RONISHA MARTIN, Interim City Clerk

ATTACHMENT "A"

LEGAL DESCRIPTION

PARCEL ID#: 12-22-27-0000-00-045

DESCRIPTION:

PARCEL 1:

BEGIN at the Northeast Corner of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 12, Township 22 South, Range 27 East, thence run West along the $\frac{1}{4}$ Section line a distance of 273 $\frac{1}{3}$ feet for a point of beginning; thence West along said $\frac{1}{4}$ section line a distance of 273 $\frac{1}{3}$ feet, thence South a distance of 330 feet, thence East a distance of 273 $\frac{1}{3}$ feet thence North a distance of 330 feet to a point of beginning.

(Less and except)

Commence at the Southeast corner of the North $\frac{1}{2}$ of the North $\frac{1}{2}$ of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 12, Township 22 South, Range 27 East of Orange County, Florida; run thence North $89^{\circ}58'46''$ West along the South line, a distance of 54.35 feet to the East right-of-way line of East Crown Point Road; thence, along said East right-of-way line run North $18^{\circ}00'30''$ East a distance of 178.88 feet; thence run South $00^{\circ}19'07''$ West a distance of 170.14 feet to the Point of Beginning.

(Less and except)

The property described in Drainage and Utilities Easement recorded April 12, 2019, in Document #20190225180, of the Public Records of Orange County, Florida.

Containing 1.50 acres, more or less.

TOGETHER WITH:

PARCEL ID #: 12-22-27-0000-00-002

PARCEL 2:

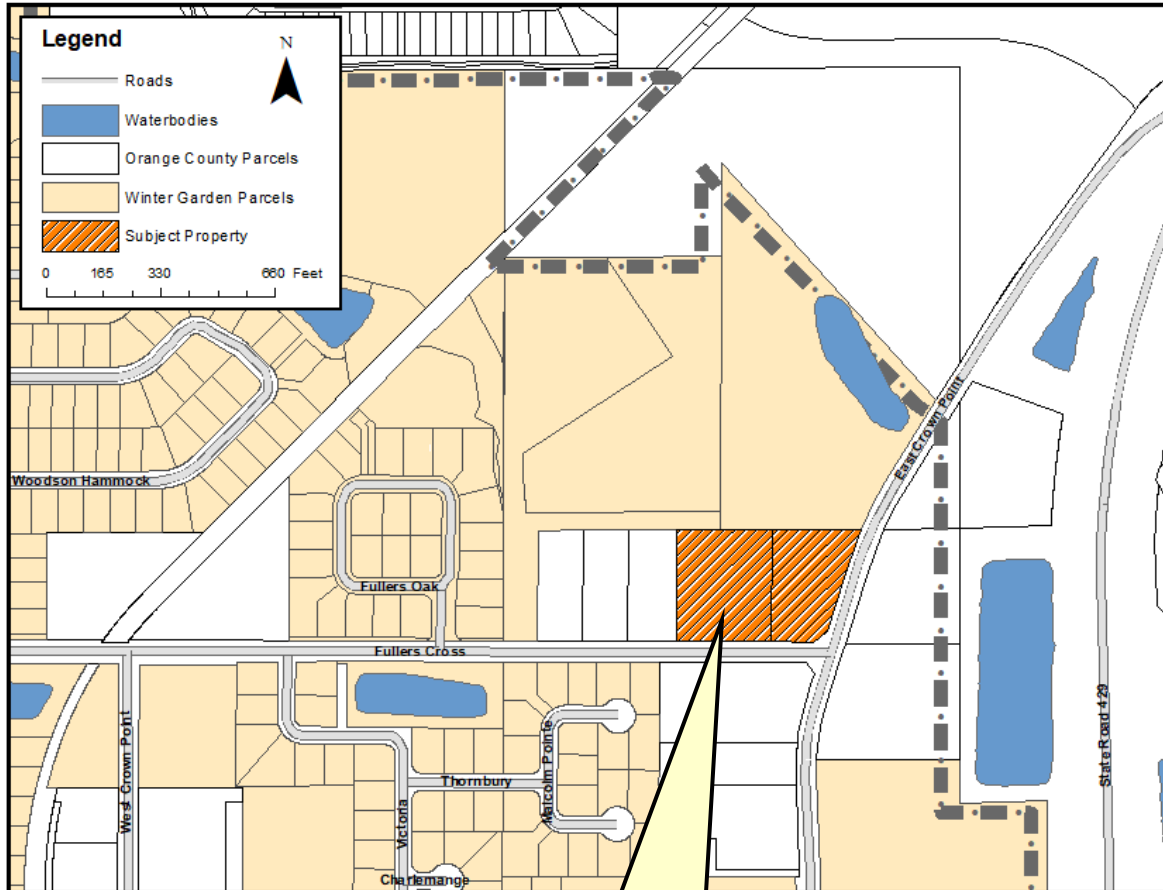
North 10 Acres of Southeast $\frac{1}{4}$ of Northeast $\frac{1}{4}$ (Less West 500 feet and Less East 546 $\frac{2}{3}$ feet thereof) Section 12, Township 22 South, Range 27 East, Orange County, Florida.

Containing 2.02 acres, more or less.

ATTACHMENT "B"

FUTURE LAND USE MAP

1414 East Crown Point Road and 1325 East Fullers Cross Road



Subject property changed from Orange County Low Density Residential to City Low Density Residential

ORDINANCE 26-03

AN ORDINANCE OF THE CITY OF WINTER GARDEN, FLORIDA REZONING CERTAIN REAL PROPERTY GENERALLY DESCRIBED AS APPROXIMATELY 1.50 ± ACRES LOCATED AT 1414 EAST CROWN POINT ROAD AND APPROXIMATELY 2.02 ± ACRES LOCATED AT 1325 EAST FULLERS CROSS ROAD, NORTH OF EAST FULLERS CROSS ROAD, SOUTH OF OCOEE CROWN POINT PKWY, EAST OF FULLERS OAK LOOP AND WEST OF EAST CROWN POINT ROAD, FROM ORANGE COUNTY A-1 (CITRUS RURAL DISTRICT) TO CITY PUD (PLANNED UNIT DEVELOPMENT) AS SET FORTH IN THIS ORDINANCE; PROVIDING FOR CERTAIN PUD REQUIREMENTS AND DESCRIBING THE DEVELOPMENT AS THE NEW LIFE SLAVIC CHURCH PUD; AND PROVIDING FOR SEVERABILITY; CONFLICTS AND AN EFFECTIVE DATE.

WHEREAS, the owner of real property generally described as approximately 1.50 ± acres located at 1414 East Crown Point Road, and approximately 2.02 ± acres located at 1325 East Fullers Cross Road, north of East Fullers Cross Road, south of Ocoee Crown Point Pkwy, east of Fullers Oak Loop and west of East Crown Point Road in Winter Garden, Florida being more particularly described in Exhibit “A” attached hereto and incorporated herein by this reference (the “Property”), desire to rezone their property from County A-1 (Citrus Rural District) to the City PUD (Planned Unit Development), and

WHEREAS, the Planning and Zoning Board has considered this Ordinance and made a recommendation to the City Commission concerning its adoption; and

WHEREAS, after public notice and due consideration of public comment, the City Commission of the City of Winter Garden hereby finds and declares the adoption of this Ordinance and the proposed development of the Property is consistent with the City of Winter Garden Comprehensive Plan, and the land development regulations set forth in the City of Winter Garden Code of Ordinances; and

WHEREAS, based on competent, substantial evidence in the record, the requested rezoning set forth in this Ordinance meets all applicable criteria specified in the City of Winter Garden Comprehensive Plan, and the Code of Ordinances; Now therefore;

BE IT ENACTED BY THE CITY OF WINTER GARDEN, FLORIDA:

SECTION 1: Rezoning. After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from County A-1 (Citrus Rural District) to City PUD (Planned Unit Development) in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:

- a. **Conceptual Plan** – After due notice and public hearing, the zoning classification of the Property, as described in Exhibit “A” attached hereto, is hereby rezoned from County A-1 (Citrus Rural District) to City PUD (Planned Unit Development) in the City of Winter Garden, Florida subject to the following conditions, provisions and restrictions:
- b. **Zoning** – Unless specifically noted elsewhere in Exhibit “B” attached hereto, or expressly provided for herein, all development on the Property must comply with the general zoning requirements of the Planned Unit Development zoning district as they pertain to the property that has the primary church or other religious use. These requirements include any approval procedures of the Planned Unit Development zoning district.
- c. **Permitted Uses** – The permitted uses for the Property are as follows:
 - 1. Permitted primary structures and uses:
 - a) Church and other religious structures
 - 2. Permitted accessory structures and uses:
 - a) Other accessory uses and structures that meet the requirements of the Winter Garden Code of Ordinances and are clearly secondary and subordinate to the primary use.
- d. **Special Exception Uses** –
 - 1. No special exception uses permitted.
- e. **Prohibited Uses** – The prohibited uses for all areas of the Property are as follows:
 - 1. All uses prohibited by Sec. 118-858(5), City of Winter Garden Code of Ordinances.
 - 2. All uses not specifically permitted in the Ordinance; any use not in keeping with a low density residential neighborhood character.
 - 3. Daycare center.
 - 4. School.
- f. **Design Criteria/Architectural Standards** -
 - 1. **Architectural and Design Standards** – All development on the Property must adhere to the design criteria and architectural characteristics shown in the Elevations attached hereto as Exhibit “C”.
 - 2. **Maximum Building Height** – The maximum building height shall not exceed 40 feet.
 - 3. **Maximum Building Area** – The church building shall not exceed 0.13 F.A.R.
 - 4. **Minimum Setbacks and Required Yard** –
 - a) Primary Structure:

- a. East Crown Point Road - Front: 95 foot minimum
 - b. Side Corner: 80 foot minimum
 - c. Side Interior: 100 foot minimum
 - d. Rear: 145 foot minimum
 - b) Open space landscape buffers:
 - a. Front: 30 foot minimum
 - b. Side: 30 foot minimum
 - c. Rear: 30 foot minimum
 - c) Other Accessory Buildings/Structures:
 - a. All accessory buildings shall be located to the rear of the church building and out of all open space and landscape buffers.
- 5. Impervious Surface Area Ratio** - The maximum impervious surface area ratio for the Property shall be consistent with the overall maximum impervious surface area ratio that the Planned Unit Development is permitted by Saint John's River Water Management District.
- g. Staff Conditions** – All development on the Property must comply with the following staff conditions:
1. The lots shall be combined prior to final site plan approval.
 2. A preliminary site plan, landscape plan and tree survey are provided with Exhibit B. Separate final site plan approval is required. Refer to Section 110 of the City Code for final site plan submittal information. Refer to Section 118-68 of the City Code for final site plan requirements.
 3. All trees shown on the site plan as being saved are required to be saved. A separate tree removal permit is required to remove trees. Replacement trees must be planted 5 feet or more from any utility lines. Only sod or shrubs may be planted over utility lines.
 4. The applicant will pay \$87,300 to the City's tree fund to mitigate the 97 trees that do not fit on the developed site. The applicant will enter into an agreement with the City and these fees will be paid prior to issuance of building permits.
 5. All signs are subject to Chapter 102 of City Code, specifically Division 2. Residential and Planned Unit Development (PUD) Districts. A separate permit is required for all signs.
 6. A minimum 5' wide utility and drainage easements will be required on the side and rear lot lines, with no obstructions allowed within the easement area (a.c. units, sheds, other accessory structures, etc.)
 7. A minimum 10' drainage, utility and sidewalk encroachment easement is required adjacent to all right-of-way.

8. A minimum 30' buffer as shown on the plan provided with Exhibit B is required around the entirety of the property.
9. A left turn lane as shown with Exhibit B shall be provided along East Crown Point Road to create a designated left turn lane into the Property at the north portion of the property. The applicant will provide the left turn lane prior to receiving the certificate of occupancy.
10. A geotechnical report shall be provided with the final site plan submittal.
11. An environmental report has been prepared and will be reviewed further with the final site submittal.
12. All utilities shall conform to Chapter 78 of the City Code.
 - a) Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications.
 - b) The site shall be served by City water, sewer and reuse.
 - c) All utilities required for the development shall be run to the site at the property owner's expense, including potable water, reclaimed water and sanitary sewer.
13. Provide existing drainage pattern and proposed drainage pattern with final site plan. Off-site drainage must be accommodated.
14. One hundred percent (100%) of the water/sewer impact fees shall be paid prior to site or building permit issuance or execution of FDEP permit applications by the City. Use City Standard Detail Sheets for utilities and public works. A private lift station meeting all City requirements will be required.
15. Permits or exemptions shall be provided from SJRWMD stormwater and FDEP for water, wastewater and NPDES NOI.
16. Buildings over 6,000 square feet require fire sprinkler systems with Point of Service (POS) for fire line shown on the plans, with note stating that any work downstream of the Point of Service shall be performed by a licensed Fire Sprinkler Contractor. Review and approval by the Fire and Building Departments is required.
17. Any screen walls or retaining walls shall require a separate permit from the Building Department.
18. All underdrain pipe shall be double wall HDPE pipe or PVC pipe.
19. Lighting is required on site and along all street frontages if not existing. All lighting shall meet dark skies requirements per City Code. Submit photometric plan with final site plan submittal.
20. Minimum 5 foot wide concrete sidewalks shall be constructed along all street frontages pursuant to City Code. Existing sidewalks, curbs and pavement shall be checked at completion and any damaged sections shall

be replaced.

SECTION 2: General Requirements.

- a. **Development Agreement-** If deemed necessary by City Staff, a Development Agreement shall be drafted, approval obtained and recorded prior to approval of any site or building permits for the Property.
- b. **Stand Alone Clause-** Each phase of development of the Property must operate as an individual unit in that each particular phase will be able to stand-alone in the event that no other phase is developed.
- c. **Land Development Approvals and Permits-** This Ordinance does not require the City to issue any permit or approval for development, construction, building permit, or other matter by the City relating to the Property or the project or any portion thereof. These and any other required City development approvals and permits shall be processed and issued by the City in accordance with procedures set forth in the City’s Code of Ordinances and subject to this Ordinance.
- d. **Amendments-** Minor amendments to this Ordinance will be achieved by Resolution of the City Commission of the City of Winter Garden. Major amendments to this Ordinance will require approval of the City Commission of the City of Winter Garden by Ordinance.
- e. **Expiration/Extension-** Expiration of this PUD shall be governed in accordance with Section 118-830, City of Winter Garden Code of Ordinances. Time extensions may be granted in accordance with Section 118-829, City of Winter Garden Code of Ordinances.

SECTION 3: Zoning Map. The City Planner is hereby authorized and directed to amend the Official Winter Garden Zoning Map in accordance with the provisions of this ordinance.

SECTION 4: Non-Severability. Should any portion of this Ordinance be held invalid, then the entire Ordinance shall be null and void.

SECTION 5: Effective Date. This Ordinance shall become effective simultaneously upon the effective date of Ordinance 26-02 which is an amendment to the Future Land Use Map of the City of Winter Garden Comprehensive Plan that allows the property described herein to be zoned as provided in this Ordinance.

FIRST READING AND PUBLIC HEARING: _____, 2026.

SECOND READING AND PUBLIC HEARING: _____, 2026.

ADOPTED this _____ day of _____, 2026, by the City Commission of the City of Winter Garden, Florida.

APPROVED:

JOHN REES, Mayor/Commissioner

ATTEST:

RONISHA MARTIN, City Clerk

EXHIBIT "A"

LEGAL DESCRIPTION

PARCEL ID#: 12-22-27-0000-00-045

DESCRIPTION:

PARCEL 1:

BEGIN at the Northeast Corner of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 12, Township 22 South, Range 27 East, thence run West along the $\frac{1}{4}$ Section line a distance of 273 $\frac{1}{3}$ feet for a point of beginning; thence West along said $\frac{1}{4}$ section line a distance of 273 $\frac{1}{3}$ feet, thence South a distance of 330 feet, thence East a distance of 273 $\frac{1}{3}$ feet thence North a distance of 330 feet to a point of beginning.

(Less and except)

Commence at the Southeast corner of the North $\frac{1}{2}$ of the North $\frac{1}{2}$ of the Southeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of the Northeast $\frac{1}{4}$ of Section 12, Township 22 South, Range 27 East of Orange County, Florida; run thence North $89^{\circ}58'46''$ West along the South line, a distance of 54.35 feet to the East right-of-way line of East Crown Point Road; thence, along said East right-of-way line run North $18^{\circ}00'30''$ East a distance of 178.88 feet; thence run South $00^{\circ}19'07''$ West a distance of 170.14 feet to the Point of Beginning.

(Less and except)

The property described in Drainage and Utilities Easement recorded April 12, 2019, in Document #20190225180, of the Public Records of Orange County, Florida.

Containing 1.50 acres, more or less.

TOGETHER WITH:

PARCEL ID #: 12-22-27-0000-00-002

PARCEL 2:

North 10 Acres of Southeast $\frac{1}{4}$ of Northeast $\frac{1}{4}$ (Less West 500 feet and Less East 546 $\frac{2}{3}$ feet thereof) Section 12, Township 22 South, Range 27 East, Orange County, Florida.

Containing 2.02 acres, more or less.

Exhibit "B"

COVER PAGE

NEW LIFE SLAVIC CHRISTIAN
MISSIONARY CHURCH

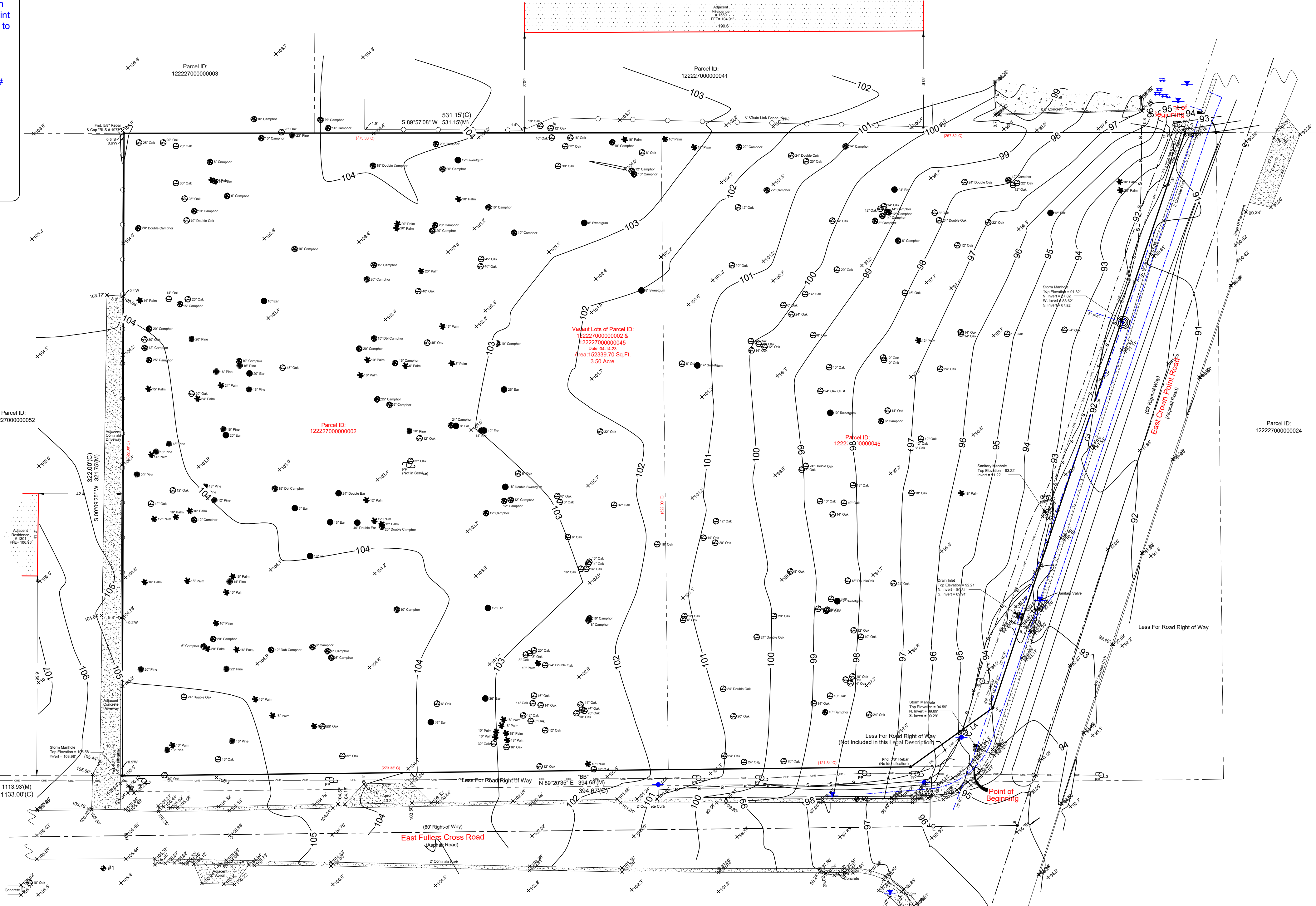
PUD LAND USE PLAN
(6 PAGES – ATTACHED)

Boundary Survey

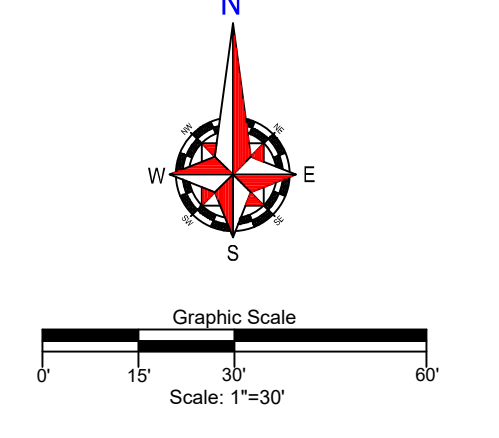
Legal Description:
PARCEL 1:
 BEGIN at the Northeast Corner of the Southeast 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 12, Township 22 South, Range 27 East, thence run West along the 1/4 Section line a distance of 273 1/3 feet for a point of beginning; thence West along said 1/4 section line a distance of 273 1/3 feet, thence South a distance of 330 feet, thence East a distance of 273 1/3 feet thence North a distance of 330 feet to a point of beginning.
 (Less and except)
 Commence at the Southeast corner of the North 1/2 of the North 1/2 of the Southeast 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 12, Township 22 South, Range 27 East of Orange County, Florida; run thence North 89°58'46"W along the South line of the North 1/2 of the North 1/2 of the Southeast 1/4 of the Northeast 1/4 of said Section 12, a distance of 273.33 feet for a point of beginning; thence continue North 89°58'46"W along the South line, a distance of 54.35 feet to the East right-of-way line of East Crown Point Road; thence, along said East right-of-way line run North 18°00'30" East a distance of 178.88 feet; thence, run South 00°19'07" West a distance of 170.14 feet to the Point of Beginning.
 (Less and except)
 The property described in Drainage and Utilities Easement recorded April 12, 2019 in Document # 20190225180, of the Public Records of Orange County, Florida.
TOGETHER WITH:
PARCEL 2:
 North 10 Acres of Southeast 1/4 of Northeast 1/4 (Less West 500 feet and Less East 546 2/3 feet thereof) Section 12, Township 22 South, Range 27 East, Orange County, Florida.

FLOOD DISCLAIMER:
 BY PERFORMING A SEARCH WITH THE LOCAL GOVERNING MUNICIPALITY OR WWW.FEMA.GOV, THE PROPERTY APPEARS TO BE LOCATED IN ZONE X. THIS PROPERTY WAS FOUND IN ORANGE COUNTY, COMMUNITY NUMBER 120176, DATED 2021-09-24.
 CERTIFIED TO:
 ILYA ZAGARYUK

C1
 R= 36148.25(C)
 L= 307.89(C)
 A= 00°29'16"(C)
 Chord Bearing:
 S 18°21'15" W 303.70(M)
 LA
 50.75(D)
 N 54°21'15" E 50.75(M)



- Note: Assumed Bearings.
- Utility Line Legend:
 - Yellow Stripping Line - Overhead Electric
 - FM Line - Water Line
 - Pink Line - Burred Telephone Line
 - Gas Line - Gas Line
 - Burred Sanitary Line - Burred Sanitary Line
- Legend:
 - Back Flow Preventer
 - Cable Riser
 - Drain Inlet
 - Electric BOX
 - Fiber Optic Box
 - Manhole
 - Power Pole
 - Sanitary Cleanout
 - Sanitary Valve
 - Sanitary Manhole
 - Storm Manhole
 - Telephone Riser
 - Water Meter
 - Water Valve



-Site Benchmark Information-
 #1
 Set Nail & Oak "LB 1020" in Edge of Pavement.
 Elevation: 105.52'
 #2
 Set Nail & Oak "LB 1020" in Edge of Pavement.
 Elevation: 92.53'

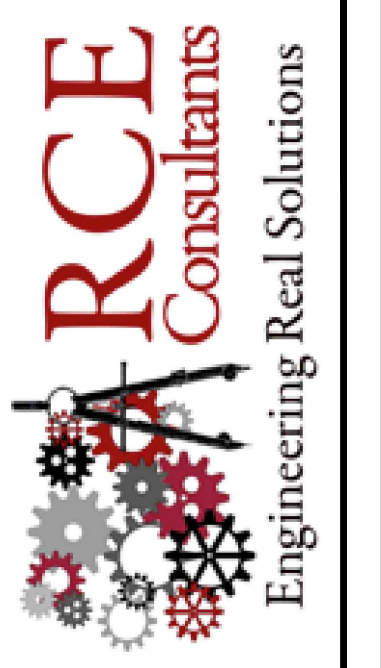
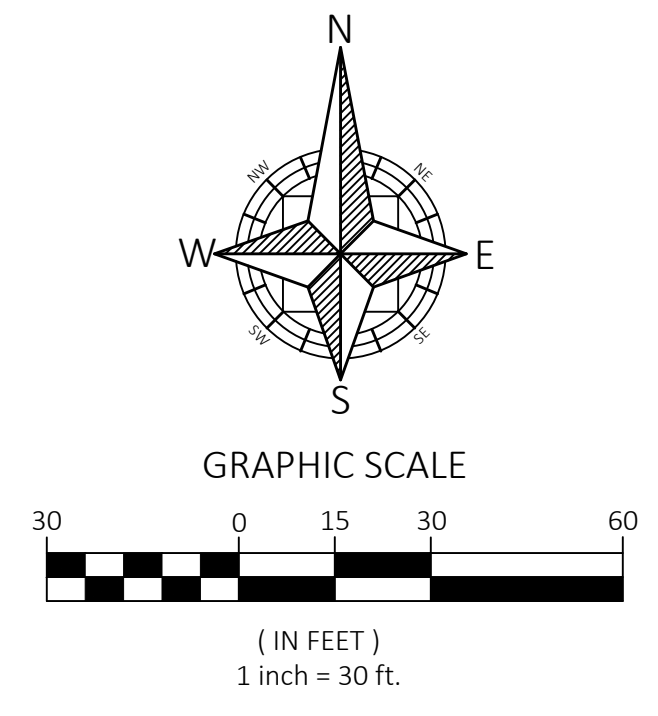
-Benchmark Information-
 Orange County Benchmark Datum
 Designation Number: P1695030
 Elevation = 109.09'
 (Elevations are based upon NAVD 88 Datum)

Note: Bearings shown hereon, are based upon the State Plane Coordinate System NAD 83 (East/West) Zone

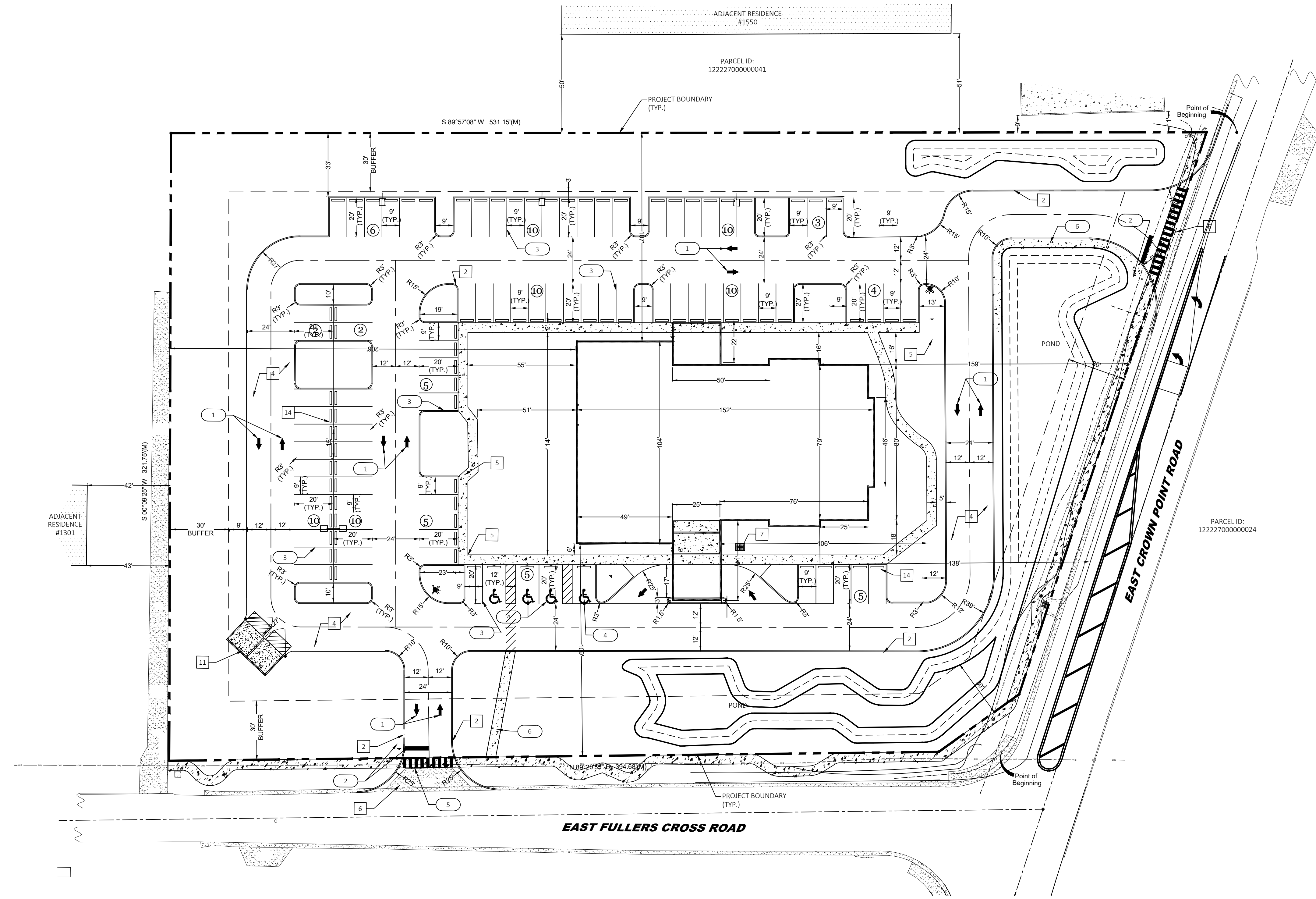
Field Date: 04/19/23	Date Completed: 04/25/23	Drawn By: TCK	File Number: IS-116298
C - Calculated	PC - Point of Curvature		
CB - Concrete Block	PI - Point of Intersection		
CM - Concrete Monument	P.D.B. - Point of Beginning		
CONC. - Concrete	P.O.L. - Point on Line		
DE - Drainage Easement	PT - Power Pole		
E.E. - Easement	RA - Right of Way		
F.E.M.A. - Federal Emergency Management Agency	PT - Point of Tangency		
F.F.E. - Finished Floor Elevation	R - Radius		
F.F.P. - First Floor Elevation	R&C - Right & Center		
IP - Iron Pipe	REC - Received		
L - Length	ROD - Rodded		
MB - Manhole	S&B - Set "C" Rod & B		
N&D - Nail & Disk	S&T - Set "T" 1/2" 1023"		
ND - Non-Disturb	UE - Utility Easement		
ORB - Official Records Book	WM - Water Meter		
P - Plat	WA - (Delta) Central Angle		
PA - Plat Book	WF - Flood Fence		

Revisions	Notes
	Survey is Based upon the Legal Description Supplied by Client.
	Adjacent Property Deeds have NOT been Researched for Gaps, Overlaps and/or Errors.
	Subject to any Easements and/or Restrictions of Record.
	Building Footings shown hereon, is Assumed and Based upon the Line of Building with a "0"
	Building Ties are NOT to be used to reconstruct Property Lines.
	Fence Ownership is NOT determined.
	Roof Overhangs, Underground Utilities and/or Footers have NOT been located UNLESS otherwise noted.
	Septic Tanks and/or Drained locations are approximate and MUST be verified by appropriate Utility Location Companies.
	Use of this Survey, with or without other Plans Introduced, Without Written Verification, will be at the User's sole risk and without Liability to the Surveyor. Nothing Hereon shall be construed to give ANY Rights or Benefits to Anyone Other than those Certified.
	Flood Zone Determination Shown herein is Given as a Courtesy, and is Subject to Final Approval by F.E.M.A. This Determination may be affected by Flood Factors and/or other information NEITHER known nor given to the Surveying Company at the time of this Easement.
	Ireland & Associates Surveying Inc. did not sign survey assume NO liability for the accuracy of this determination.

Patrick K. Ireland
 License No. PS 160637
 License No. LB 7623
 This Survey is intended for use as a Subordinate Plat.
 This Survey NOT VALID UNLESS SIGNED AND EMBOSSED WITH SURVEYOR'S SEAL.
 Ireland & Associates Surveying, Inc.
 800 Currency Circle Suite 1020
 Lake Mary, Florida 32746
 www.irelandsurveying.com
 Office-407.678.3366 Fax-407.320.8165



NEW LIFE CHURCH
SITE PLAN
WINTER GARDEN, FLORIDA



SITE INFORMATION

PARCEL ID: 02-22-27-0000-00-045 & 02-22-27-0000-00-002
 AREA: 152,275 SF = 3.50 ACRES
 EXISTING ZONING (ORANGE COUNTY): A-1
 PROPOSED ZONING (CITY OF WINTER GARDEN): PUD
 EXISTING LAND USE (ORANGE COUNTY): RESIDENTIAL
 PROPOSED LAND USE (CITY OF WINTER GARDEN): LR
 MAX F.A.R. 0.30
 BUILDING AREA: 11,162 SF
 MAXIMUM SEATING: 268 SEATS
 F.A.R PROVIDED = 0.07, FUTURE EXPANSION: 0.13
 PROPOSED USE: RELIGIOUS FACILITY
 HOURS OF OPERATION SUNDAY 11:AM TO 1 PM
 WEDNESDAY 7:00 PM TO 8:30 PM
 FRIDAY 7:00 PM TO 8:30 PM
 NO SCHOOL OR DAYCARE PROPOSED

MAX BUILDING HEIGHT: 40'
 SETBACKS: WEST: 150'
 NORTH: 100'
 EAST CROWN POINT POINT: 75'
 EAST FULLERS CROSS ROAD : 100'

BUFFERS: FRONT: 30'
 SIDE: 30'
 REAR: 30'

REQUIRED PARKING: 1 PER 3 SEATS= 90 SPACES

PROVIDED PARKING:
 STANDARD = 89
 HANDICAP = 4
 TOTAL SPACES PROVIDED = 93

BICYCLE PARKING
 5% OF REQUIRED STALLS = 5

PROPOSED PROJECT AREA:		
PROP. BUILDING	11,162 Sq. Ft.	0.26 Acres (0.07%)
PAVEMENT/ CURB	56,017 Sq. Ft.	1.29 Acres (36.8%)
OPEN SPACE	69,400 Sq. Ft.	1.59 Acres (45.4%)
TOTAL AREA	152,340 Sq. Ft.	3.50 Acres (100%)

OPEN SPACE CALCULATION:	
PROP. IMPERVIOUS	54.6%
PROP. PERVIOUS	45.4%

PAVEMENT MARKINGS & SIGNAGE

1	DIRECTIONAL ARROWS
2	24" WIDE WHITE STOP BAR W/ 24" STOP SIGN (R1-1)
3	PAVEMENT STRIPING (4" WHITE)
4	HANDICAP PAVEMENT SYMBOLS WITH HANDICAP SIGN
5	PEDESTRIAN CROSSWALK
6	PEDESTRIAN ACCESS

SITE NOTES

1	RESERVED	14	WHEEL STOP
2	FDOT TYPE D CURB	15	RESERVED
3	RESERVED	16	RESERVED
4	ASPHALT PAVEMENT		
5	CONCRETE SIDEWALK		
6	CONCRETE PAVEMENT		
7	BIKE RACK		
8	RESERVED		
9	RESERVED		
10	RESERVED		
11	DUMPSTER ENCLOSURE		
12	RESERVED		
13	RESERVED		

LEGEND:

#	NUMBER OF PARKING
---	-------------------

BUILDING BREAKDOWN:

SCHOOL BUILDING AT 26,817 SF

SIGNAGE	
	R1-1 (30" X 30")

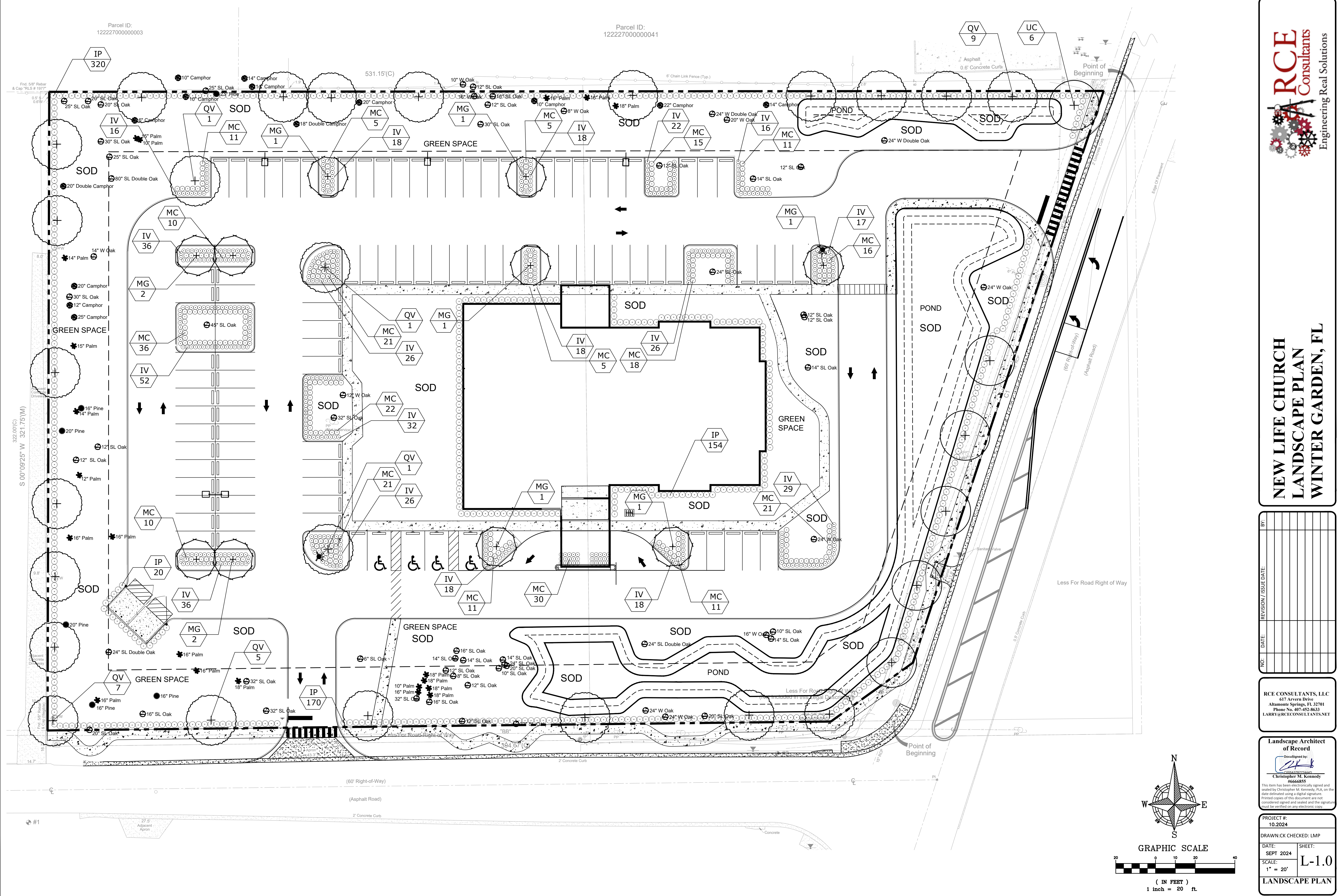
NO.	DATE	REVISION / ISSUE DATE	BY:

RCE CONSULTANTS, LLC
 617 ARVERN DRIVE
 ALTAMONTE SPRINGS, FL 32701
 PHONE NO. 407-452-8633
 LARRY@RCECONSULTANTS.NET

Engineer of Record

 Laurence Poliner
 #56974
This item has been electronically signed and sealed by Laurence Poliner, P.E., on the date delineated using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.

PROJECT #:
 17.2024
 DRAWN: SK CHECKED: LMP
 DATE: JAN 2025 SHEET: C-3
 SCALE: 1"=30'
SITE PLAN



NEW LIFE CHURCH LANDSCAPE PLAN WINTER GARDEN, FL

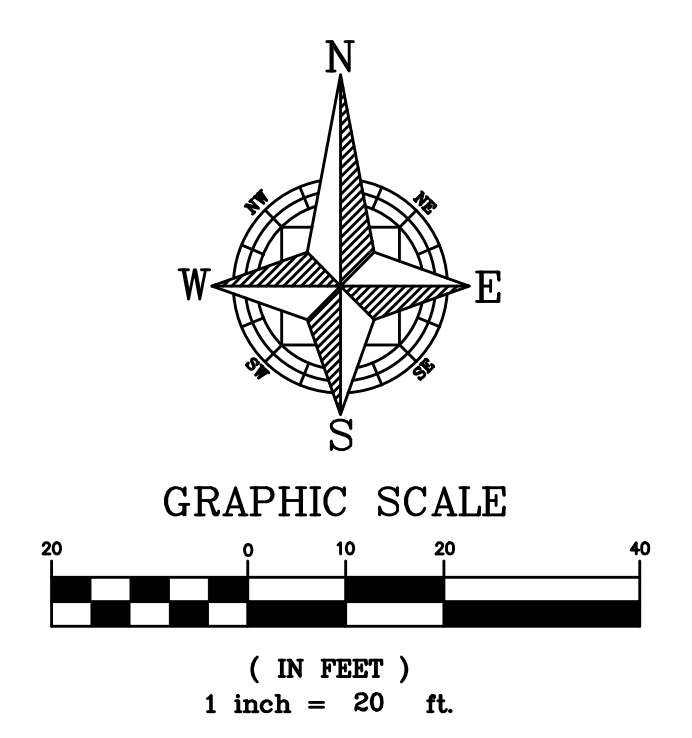
NO.	DATE:
REVISION / ISSUE DATE:	
BY:	

RCE CONSULTANTS, LLC
617 Arvera Drive
Altamonte Springs, FL 32701
Phone No. 407-432-8633
LARRY@RCECONSULTANTS.NET

Landscape Architect of Record
DocuSigned by:

Christopher M. Kennedy
#666855
This item has been electronically signed and sealed by Christopher M. Kennedy, P.L.A. on the date delineated using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copy.

PROJECT #: 10.2024
DRAWN/CK CHECKED: LMP
DATE: SEPT 2024 SHEET: L-1.0
SCALE: 1" = 20'
LANDSCAPE PLAN



PLANT LIST:

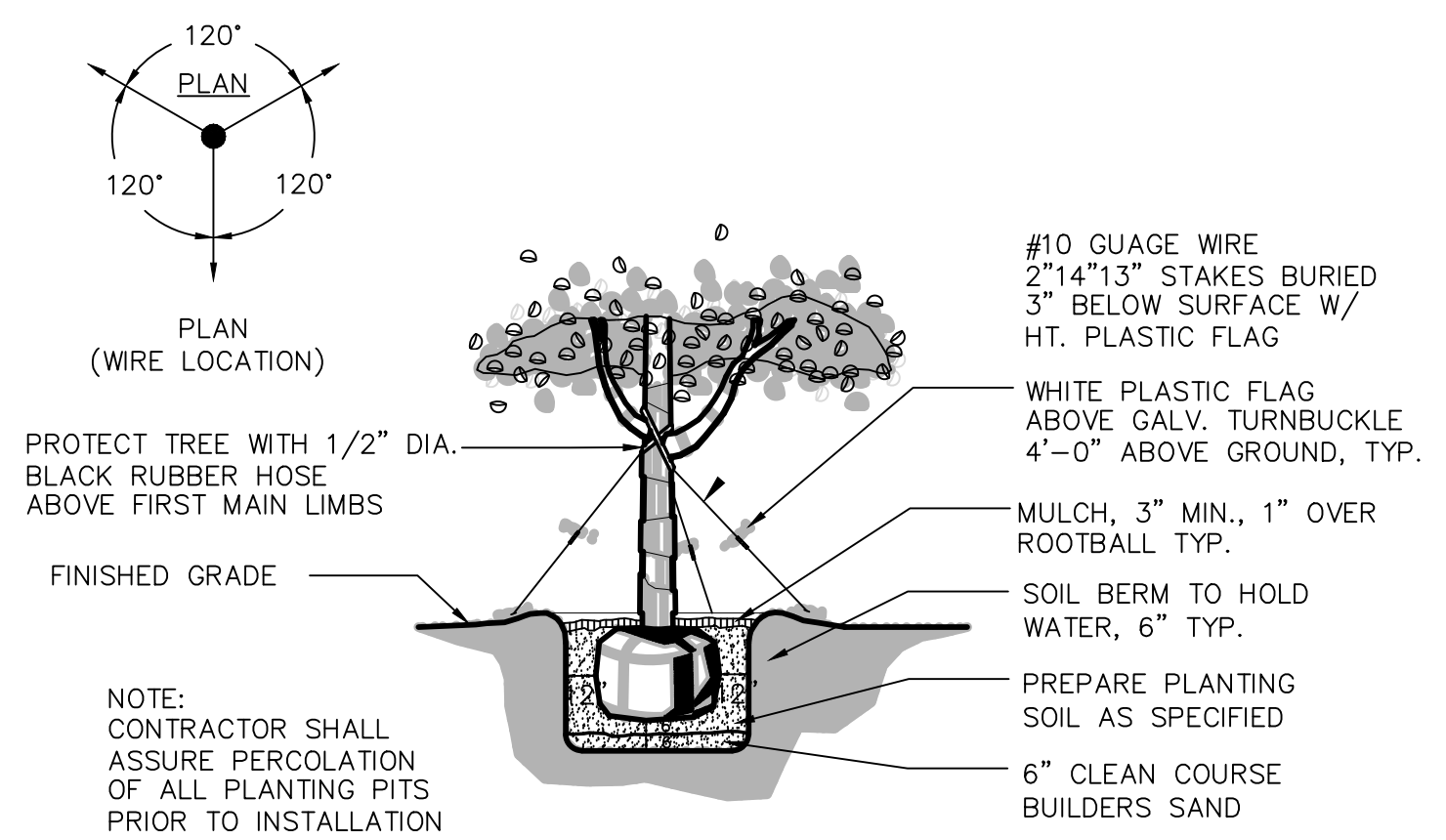
QTY.	ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE & SPECIFICATION
TREES				
10	MG	Magnolia grandiflora 'D.D. Blanchard'	Magnolia 'D.D. Blanchard'	65 Gallon, 3 1/2" Caliper
24	QV	Quercus virginiana	Live Oak	65 Gallon, 3 1/2" Caliper
6	UC	Ulmus chinensis 'Allee'	Allee Elm	65 Gallon, 3 1/2" Caliper
SHRUBS, VINES & GROUND COVER				
564	IP	Illicium parviflorum	Yellow Anise	30" Min. Ht., 3 Gal. 36" O.C.
452	IV	Ilex vomitoria 'Schillings Dwarf'	Dwarf Yaupon Holly	24" Min. Ht., 3 Gal. 24" O.C.
248	MC	Muhlenbergia capillaris	Muhly Grass	30" Min. Ht., 3 Gal., 18" O.C.
SOD & MISCELLANEOUS ITEMS				
SOD	Paspalum notatum	Bahia Solid Sod	SOLID SOD, SOD WILL NOT BE IRRIGATED	
MULCH	Shredded Melaleuca Mulch			

LANDSCAPE NOTES:

- All plant material shall be Florida Grade No. 1 or better as specified in "Grades and Standards for Nursery Plants", "Parts 1 and 2, by Division of Plant Industry, Florida", Department of Agriculture and Consumer Services, and shall conform to current American Association of Nurserymen 'Standards for Nursery Stock', latest edition.
- The landscape contractor shall be responsible for verification of quantities the plant list. In the event of a conflict between quantities on the plant list and the plans, the plans shall control and the discrepancy shall be brought to the attention of the landscape architect prior to bid. Any deviation from these plans must be approved by the Landscape Architect or owner's representative.
- Contractor is responsible for compliance with all applicable building codes, ordinances and local regulations. The contractor shall be responsible for obtaining all necessary permits to perform the work.
- The landscape contractor is responsible for inspection of existing conditions and promptly reporting all discrepancies and improper conditions (wetness, muck, debris, ect) to the Landscape Architect prior to bidding. Contractor is responsible for soil analysis prior to installation of plantings, and is responsible for all soil amendments to conform to specifications.
- All tree material shall be container grown unless otherwise specified.
- The landscape contractor shall acquaint himself with all civil drawings as they relate to paving, site grading, and all utilities, (including water, sewer and electrical supply) to preclude any misunderstanding and ensure trouble free installation. The exact location of all existing structures, underground utilities, existing underground sprinklers and pipe may not be indicated on drawings. The contractor shall conduct his work in a manner to prevent interruption or damage to existing systems which must remain operational. The contractor shall protect utility services which must remain operational and shall be responsible for their replacement if damaged by him.
- Mulch shall be organic and shall not be placed on top of the root ball or placed against the trunk. Mulch shall be applied a minimum of 12" to 18" from the trunk of any sized tree. Materials such as rock and shells that do not biodegrade, are not deemed acceptable. Failure to install mulch (and type of mulch) as provided in the specification above may result in a failed inspection. See <http://hort.ifas.ufl.edu/woody/over-mulching.html> for more information.
- Refer to specifications for complete requirements.
- In the event of a conflict between quantities on the plant list and the plans, the plan shall take precedent.

IRRIGATION NOTES:

- All landscaped areas shall be irrigated with a permanent automatic irrigation system providing 100% coverage.
- An automatic moisture sensor/shutoff shall be part of the system.
- All tree, shrub, and groundcover material proposed for this site is medium to low water use. Micro or drip irrigation will be installed in these beds.

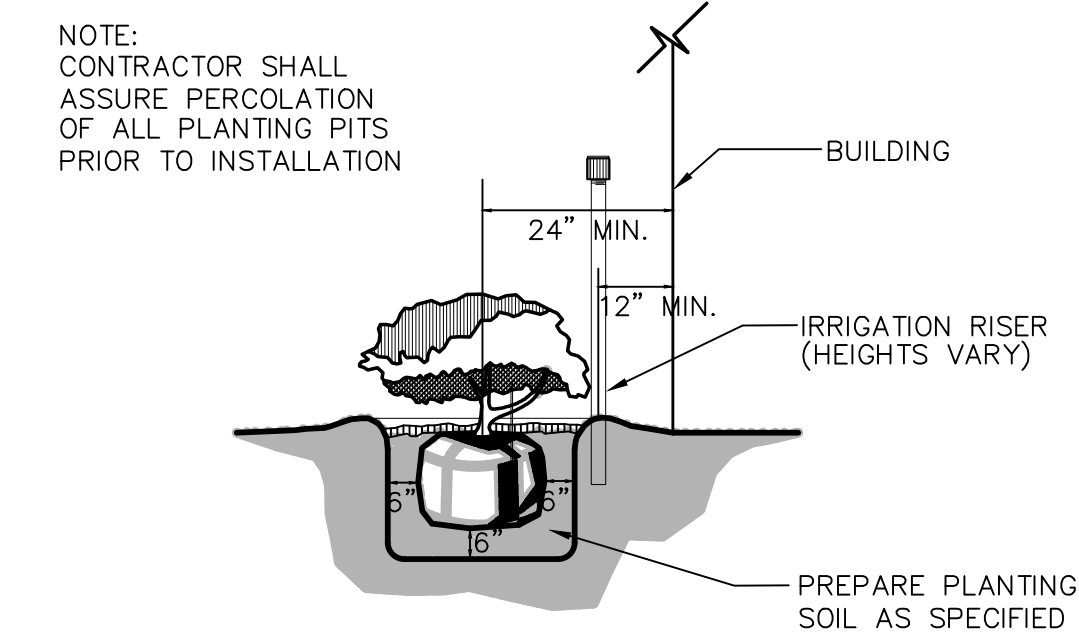


LARGE TREE DETAIL

Scale: N.T.S. 1 L-2.0

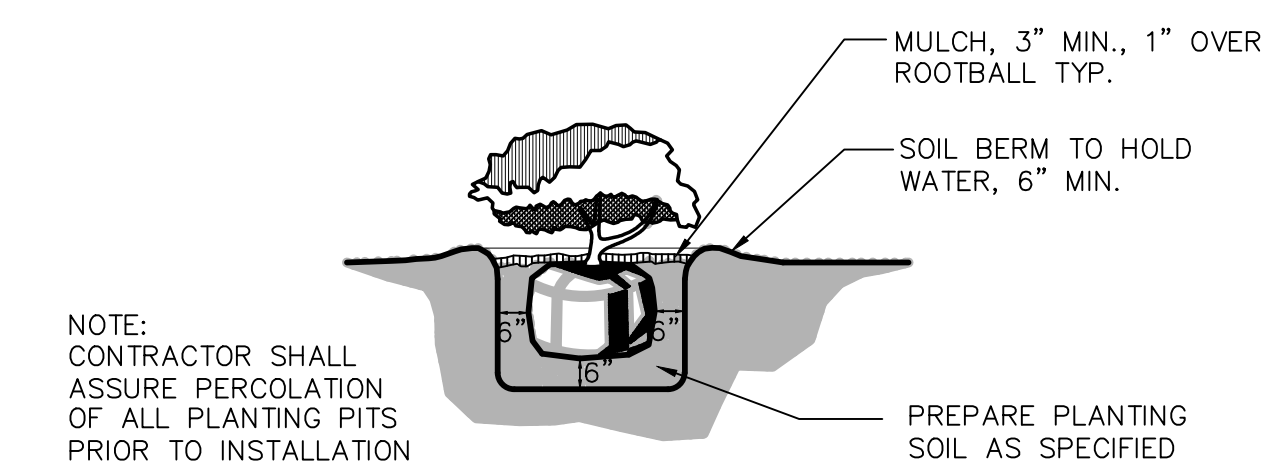
CHART FOR IRRIGATION RISER HEIGHT:

IRRIGATION RISER HEIGHT	
24"	INSTALLED IN GROUNDCOVER BED
30"	INSTALLED IN SHRUB BED



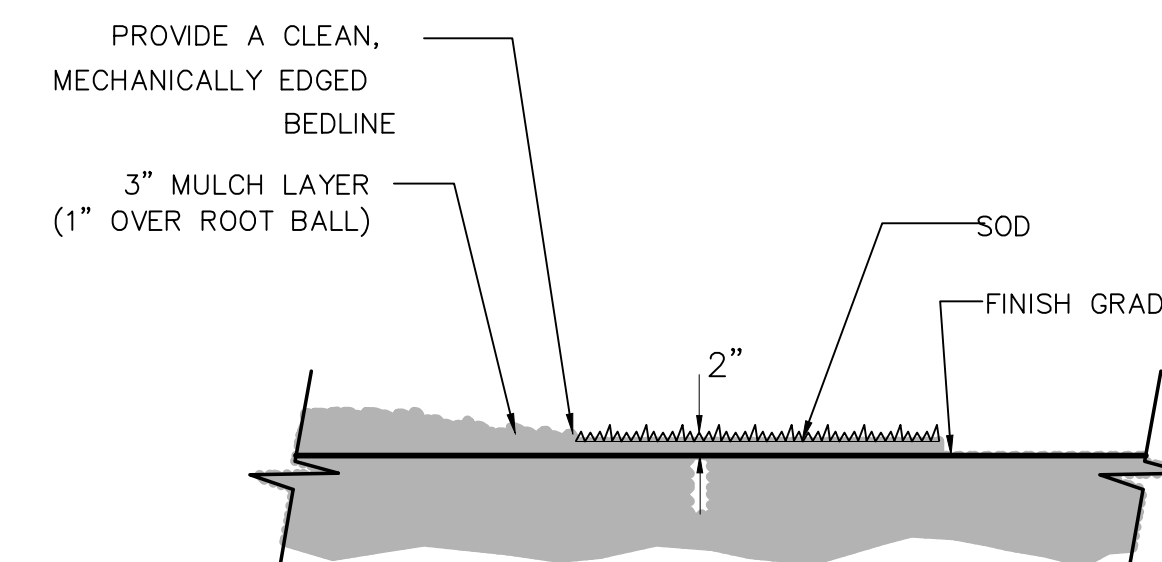
SHRUBS/GROUNDCOVER ADJACENT TO BUILDING

Scale: N.T.S. 2 L-2.0



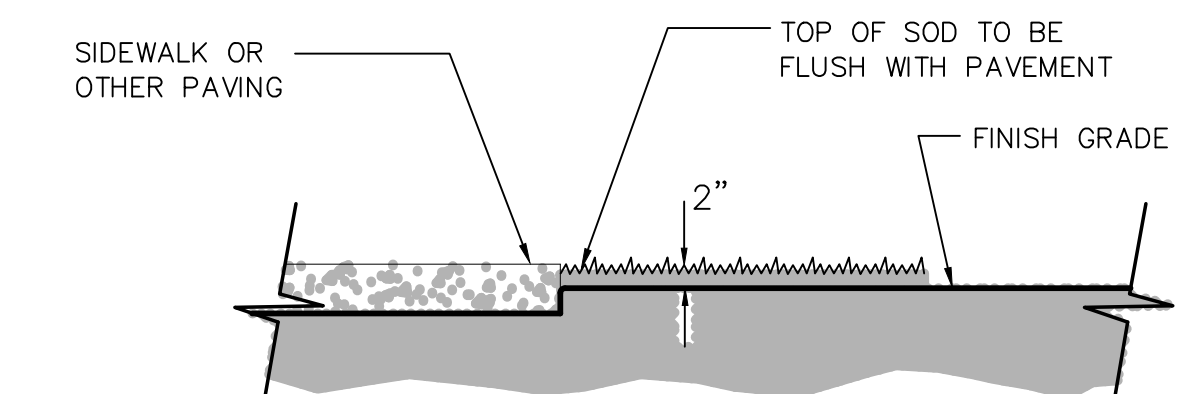
SHRUB DETAIL

Scale: N.T.S. 3 L-2.0



SOD PLACEMENT ADJ. TO MULCH

Scale: N.T.S. 4 L-2.0



SOD PLACEMENT ADJ. TO PAVEMENT

Scale: N.T.S. 5 L-2.0



**NEW LIFE CHURCH
LANDSCAPE DETAILS
WINTER GARDEN, FL**

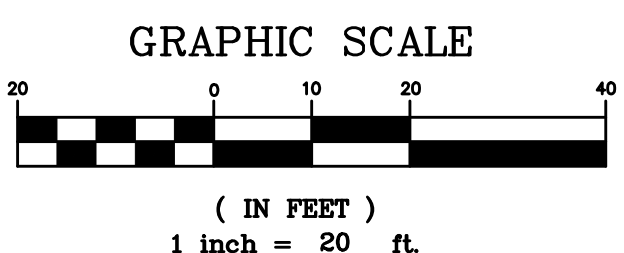
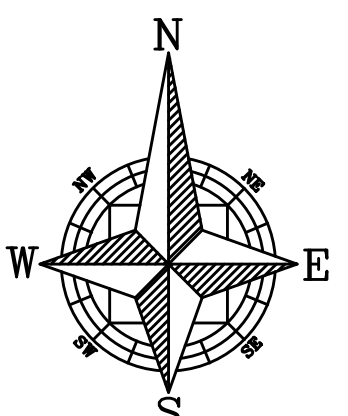
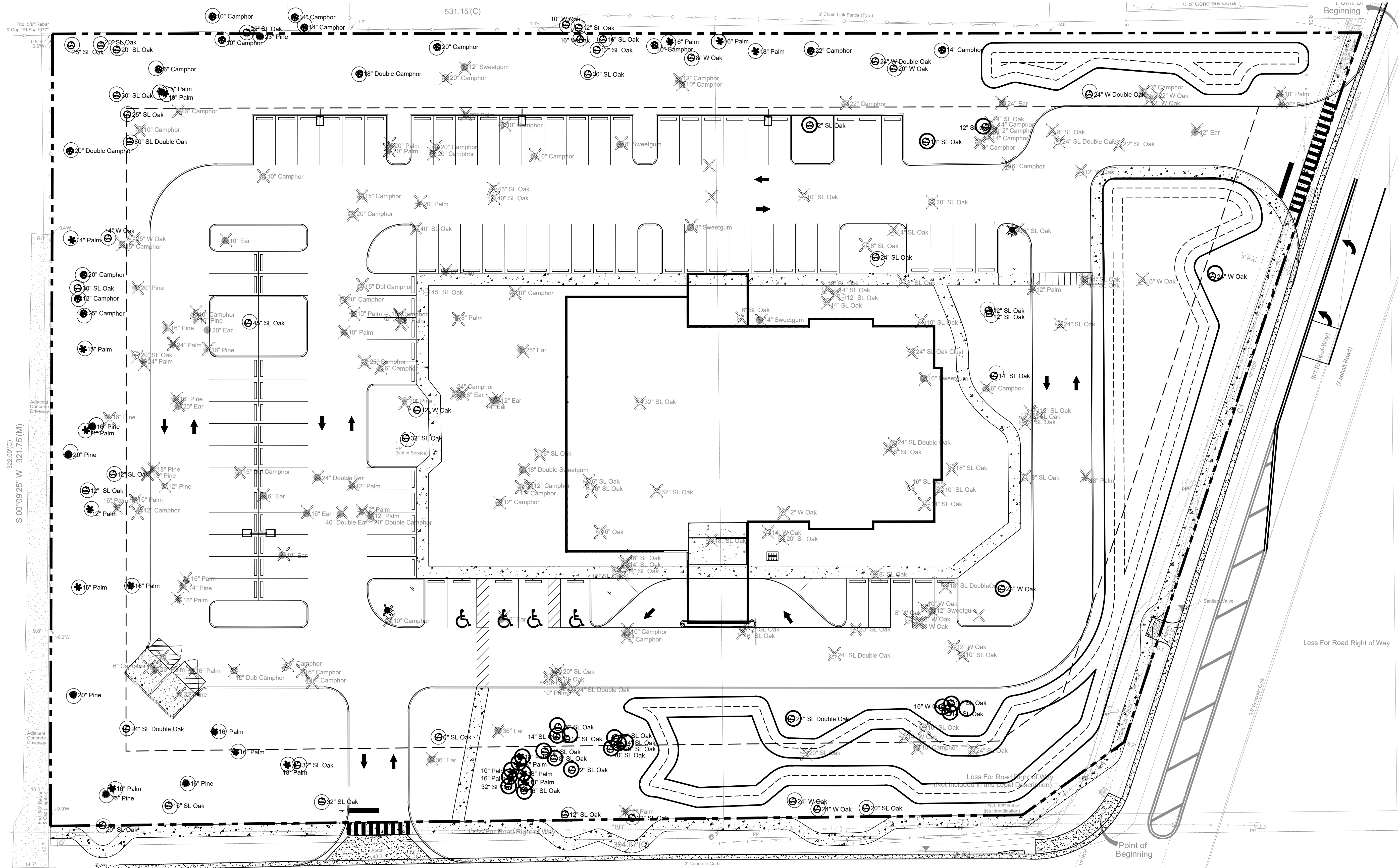
BY:	
REVISION / ISSUE DATE:	
DATE:	
NO:	

RCE CONSULTANTS, LLC
617 Arvera Drive
Altamonte Springs, FL 32701
Phone No. 407-452-8633
LARRY@RCECONSULTANTS.NET

Landscape Architect of Record
Designed by:

Christopher M. Kennedy
#666855
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PROJECT #:	10.2024
DRAWN/CK CHECKED:	LMP
DATE:	SEPT 2024
SCALE:	1" = 20'
LANDSCAPE DETAILS	



**NEW LIFE CHURCH
TREE PROTECTION PLAN
WINTER GARDEN, FL**

BY:	
REVISION / ISSUE DATE:	
DATE:	
NO:	

RCE CONSULTANTS, LLC
617 Arvera Drive
Altamonte Springs, FL 32701
Phone No. 407-452-8633
LARRY@RCECONSULTANTS.NET

**Landscape Architect
of Record**

 Christopher M. Kennedy
 #666855
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PROJECT #:
10.2024
 DRAWN/CK CHECKED: LMP
 DATE: SEPT 2024 SHEET:
 SCALE: 1" = 20' T-1.0
**TREE PROTECTION
PLAN**

INVASIVE TREES

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists invasive tree data for numbers 187 to 424.

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists invasive tree data for numbers 90 to 437.

CAMPHOR TREE TOTALS:

TOTAL CAMPHOR TREES SAVED: 11 TREES 177 INCHES
TOTAL CAMPHOR TREES REMOVED: 45 TREES 574 INCHES

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists ear tree data for numbers 126 to 450.

EAR TREE TOTALS:

TOTAL EAR TREES SAVED: 0 TREES 0 INCHES
TOTAL EAR TREES REMOVED: 17 TREES 333 INCHES

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists gum tree data for numbers 219 to 377.

GUM TREE TOTALS:

TOTAL GUM TREES SAVED: 0 TREES 0 INCHES
TOTAL GUM TREES REMOVED: 4 TREES 42 INCHES

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists oak tree data for numbers 232 to 446.

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists oak tree data for numbers 240 to 446.

OAK TREE TOTALS:

TOTAL WATER OAK TREES SAVED: 11 TREES 206 INCHES
TOTAL WATER OAK TREES REMOVED: 18 TREES 143 INCHES
TOTAL SAND LIVE OAK TREES SAVED: 49 TREES 1,002 INCHES
TOTAL SAND LIVE OAK TREES REMOVED: 58 TREES 958 INCHES

TREE CALCULATIONS:

TOTAL WATER OAK TREES SAVED: 11 TREES 206 INCHES
TOTAL WATER OAK TREES REMOVED: 18 TREES 143 INCHES
TOTAL SAND LIVE OAK TREES SAVED: 49 TREES 1,002 INCHES
TOTAL SAND LIVE OAK TREES REMOVED: 58 TREES 958 INCHES
TOTAL SWEETGUM TREES SAVED: 0 TREES 0 INCHES
TOTAL SWEETGUM TREES REMOVED: 3 TREES 40 INCHES
TOTAL PINE TREES SAVED: 6 TREES 111 INCHES
TOTAL PINE TREES REMOVED: 12 TREES 206 INCHES
TOTAL PALM TREES SAVED: 19 TREES 278 INCHES
TOTAL PALM TREES REMOVED: 29 TREES 447 INCHES
TOTAL TREES SAVED: 85 TREES 1,597 INCHES
TOTAL TREES REMOVED: 116 TREES 1,834 INCHES

INVASIVES

TOTAL CAMPHOR TREES REMOVED: 45 TREES 574 INCHES
TOTAL EAR TREES REMOVED: 17 TREES 333 INCHES
TOTAL GUM TREES REMOVED: 4 TREES 42 INCHES
TOTAL INVASIVES REMOVED: 66 TREES 949 INCHES

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists sweetgum tree data for numbers 267 to 444.

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists sweetgum tree data for numbers 352 to 444.

TOTAL SWEETGUM TREES SAVED: 0 TREES 0 INCHES
TOTAL SWEETGUM TREES REMOVED: 3 TREES 40 INCHES
REPLACEMENT CANOPY TREES REQUIRED (2:1) = 232 TREES

TOTAL TREES TO BE INSTALLED: 40 TREES 140 INCHES
TOTAL TREES SAVED: 85 TREES 1,597 INCHES
TOTAL CANOPY TREES PROVIDED: 125 TREES 1,737 INCHES

TOTAL CANOPY TREE DEFICIT: 97 TREES
CANOPY TREE COST INCLUDING INSTALLATION: \$900

TREE FUND CONTRIBUTION: \$87,300
(TREE DEFICIT NUMBER X COST)

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists sweetgum tree data for numbers 263 to 243.

SWEETGUM TREE TOTALS:

TOTAL SWEETGUM TREES SAVED: 0 TREES 0 INCHES
TOTAL SWEETGUM TREES REMOVED: 3 TREES 40 INCHES

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists pine tree data for numbers 78 to 113.

PINE TREE TOTALS:

TOTAL PINE TREES SAVED: 6 TREES 111 INCHES
TOTAL PINE TREES REMOVED: 12 TREES 206 INCHES

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists palm tree data for numbers 94 to 314.

Table with columns: NUMBER, NORTHING, EASTING, SIZE, TYPE, SAVE, REMOVE. Lists palm tree data for numbers 91 to 443.

PALM TREE TOTALS:

TOTAL PALM TREES SAVED: 19 TREES 278 INCHES
TOTAL PALM TREES REMOVED: 29 TREES 447 INCHES



NEW LIFE CHURCH TREE PROTECTION DETAILS WINTER GARDEN, FL

Table with columns: BY, REVISION/ISSUE DATE, DATE, NO. for tracking changes.

RCE CONSULTANTS, LLC
617 Arvord Drive
Altamonte Springs, FL 32701
Phone No. 407-452-8633
LARRY@RCECONSULTANTS.NET

Landscape Architect of Record
Developed by Christopher M. Kennedy #666855

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PROJECT #: 10.2024
DRAWN/CK CHECKED: LMP
DATE: SEPT 2024 SHEET: T-2.0
SCALE: 1" = 20'
TREE PROTECTION DETAILS

Exhibit "C"

COVER PAGE

**NEW LIFE SLAVIC CHRISTIAN
MISSIONARY CHURCH**

**PUD ARCHITECTURAL AND
DESIGN STANDARDS
(4 PAGES – ATTACHED)**

NARRATIVE

Building Materials, Finishes & Color Palette

New Life Church

The base structure is a **Pre-Engineered Metal Building (PEMB)**, incorporating high-quality materials and refined finishes:

- **Roof:** Standing seam black metal roof, utilizing a concealed clip system for a seamless appearance. The integrated overhangs that soften the building's silhouette and minimize any commercial aesthetic.
- **Walls:** Standard **PBR metal panels**, rated to support substrate and **stucco application**. Painted in **clean, elegant white**, the wall surfaces project simplicity and openness.
- **Soffits & Overhang:** Pre-finished in **metal panels** with architectural detail to enhance elegance and soften the perimeter.
- **Stone Accents:** Natural stone cladding has been added along multiple façade sections, in shades of **white and gray with subtle black undertones**, offering a sophisticated yet grounded aesthetic.
- **Window and Door Trim:** Painted in **black**, complementing the roof and accent stones while highlighting the building's geometry.

This color and material combination ensures clarity, modernity, and subtle refinement, creating a space that uplifts without overwhelming.

In closing:

This project has undergone thorough planning and refinement over the past year and a half. The renderings, site plan, and architectural drawings submitted as part of this packet fully illustrate the design intent, building proportions, and aesthetic appeal.

New Life Church stands ready to begin construction, offering a beacon of hope and gathering for the Winter Garden community. We respectfully request this project be advanced to the citizen's meeting, where we will present all relevant documentation including full-size 24x36 drawings.

The design team has responded to all feedback and ensured alignment between the site plan, elevations, and renderings. We humbly ask for your support in moving this transformative project to the next stage.

Steven G Anderson

Agent for new life church

East Front and South Side Elevation



East Front and North Side Elevation



East Front Elevation



West Rear and East Side Elevation



West Rear and North Side Elevation



West Rear Elevation



THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Steve Graham, Police Chief

Via: City Manager Jon C. Williams

Date: April 1, 2026 **Meeting Date:** April 9, 2026

Subject: Purchase of Roadway Barriers

Issue: The acquisition of portable roadway barriers is essential to enhancing public safety, improving event management efficiency, and meeting the City's operational responsibilities during downtown special events. As the volume and scale of community events continue to grow, so does the need for reliable, purpose-built equipment that protects attendees, staff, and surrounding infrastructure.

Recommended action:

To approve the purchase of the meridian barriers (32) and trailers (4) for \$483,170.72. This purchase has been included in this year's budget and is sole source.

Attachments:

Quote from Meridian Rapid Defense Group Sales LLC
Sole source letter



GSA Contract #47QSWA19D001F

Meridian Rapid Defense Group Sales LLC
 177 E. Colorado Blvd
 Suite 200
 Pasadena CA 91105
 United States

Quote

#QUO-S-12659

02/26/2026

Bill To
 Winter Garden, FL
 880 W. Bay Street
 Winter Garden FL 34787
 United States

Ship To
 Winter Garden, FL
 880 W. Bay Street
 Winter Garden FL 34787
 United States

Date	Expires	Shipping Method	Sales Rep
02/26/2026	05/27/2026	Freight Out	Brenton . Lee

Item	Price Level	Quantity	Rate	Amount
TRLKIT1000 Meridian Archer Trailer Kit 1000		2	0.00	
T1000 Archer T-1000 Drop Deck Trailer	GSA	2	34,247.85	\$68,495.70
AB1200 Archer 1200 Barrier	GSA	16	6,513.75	\$104,220.00
AMHA003-2 Archer Manual Hauler 2.0	GSA	2	1,925.18	\$3,850.36
AFTB001 Archer Field Tow Bar	GSA	4	574.18	\$2,296.72
AACN4F022 4' Arrestor Cable 2.0	GSA	14	574.18	\$8,038.52
RG Archer Rapid Gate Kit	GSA	2	12,540.18	\$25,080.36
AMB1200WS Wayfinding Frame	GSA	16	574.18	\$9,186.88
WF1RC Caution - Road Closed	GSA	16	37.15	\$594.40
WF2STP Caution - Stop	GSA	16	37.24	\$595.84
WF3C Caution - Caution	GSA	16	37.24	\$595.84
WF4PTO Caution - Pedestrian Traffic Only	GSA	16	37.24	\$595.84
ACP001ADA 3 Channel ADA Cable Protector (1 Piece)	GSA	28	287.09	\$8,039.90
End of Group			0.00	\$231,590.36

Subtotal	\$231,590.36
Shipping Cost	\$9,995.00
Tax (0%)	\$0.00
Total	\$241,585.36

Notes:

Payment Terms:

Due to high demand, Meridian is requesting a 50% deposit to ensure timely delivery of your product.



QUO-S-12659



Meridian Rapid Defense Group Sales LLC
177 E. Colorado Blvd
Suite 200
Pasadena CA 91105
United States

Quote

#QUO-S-12659

GSA Contract #47QSWA19D001F

02/26/2026

Wire Transfer Instructions:

Meridian Rapid Defense Group Sales LLC
Account Number: 568605235
Bank Name: Chase Bank, N.A.
Wire Routing : 021000021
ACH Routing : 322271627

Check Remittance:
530 New Los Angeles Ave #115-345
Moorpark, CA 93021



QUO-S-12659



February 25th, 2026

James Capeletti
Winter Garden, FL

This is a sole source letter to certify that the Archer 1200 Barrier, the Archer 1200 Trailer Barrier Kit, the Archer Beam Gate and the Archer Rapid Gate are exclusive MERIDIAN products that are manufactured and sold by Meridian Rapid Defense Group LLC ("MERIDIAN"). MERIDIAN is the creator, manufacturer, and patent holder of these products. MERIDIAN is the sole manufacturer and supplier for the U.S. and internationally. MERIDIAN does not permit any 3rd party distributors to supply its products and technologies.

The Archer 1200 is manufactured in US with 700 lbs. of American made steel and has been tested to MASH, ASTM, PAS 68, and IWA14. No other product on the market meets this standard except the Archer 1200 Barrier.

We are glad to make ourselves available to provide further technical information on materials and the proper use of the above-listed items. MERIDIAN provides the in-field training of the equipment to ensure the safety and effectiveness of the Archer 1200 Barrier.

The following items detail the unique, and one of its kind, characteristics of the Archer 1200 Barrier:

- No other product on the market provides unanchored stopping power certified to US DOD and PAS 68 standards. Unbolted units stop a vehicle traveling 30 mph within 14 feet; no other product on the market meets this standard.
- No other product on the market is rated for armor-piercing NATO ammunition up to .50 cal. ballistic rounds.
- No other barrier on the market is designed as a non-electric and non-hydraulic unit.
- The Archer 1200 Barrier has easily deployable wheels that are self-contained on the barrier and effortlessly positioned. No other product on the market has this unique characteristic.
- No other product on the market can be installed as a complete barrier system with MERIDIAN's 4-foot and 10-foot Arrestor Cables.
- MERIDIAN's unique, one-of-a-kind barriers can be deployed at any desired length, as unit can be "daisy chained" together. This cannot be achieved with any other product on the market.
- MERIDIAN's unique products are transported and positioned using a specially designed Drop Deck Trailer.
- A remaining unique feature of the Archer 1200 Barrier is that the unit allows for the installation of directional or informational signage.

Please feel free to contact me with any specific questions or additional requests for information.

Many thanks,

A handwritten signature in black ink that reads "J. Eric Alms". The signature is written in a cursive, flowing style.

Eric Alms
President
Cell: (213) 400-9811 ealms@meridian-barrier.com

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Kelly Carson, Planning Director

Via: City Manager Jon C. Williams

Date: April 1, 2026 **Meeting Date:** April 9, 2026

Subject: 1600 Daniels Road (Center for Digestive Health)
Site Plan Approval
PARCEL ID# 26-22-27-1989-03-000

Issue: The applicant is requesting Site Plan Approval for the property located at 1600 Daniels Road.

Discussion: The applicant is requesting site plan approval, for lot 3 of the Daniels Commerce Center commercial subdivision, in order to build a two-story 15,348 square foot medical office building with associated site improvements such as landscaping and parking.

The 1.31 +/- acre subject property is designated COM (Commercial) on the City's Future Land Use Map and zoned PCD (Planned Commercial Development).

Recommended Action:

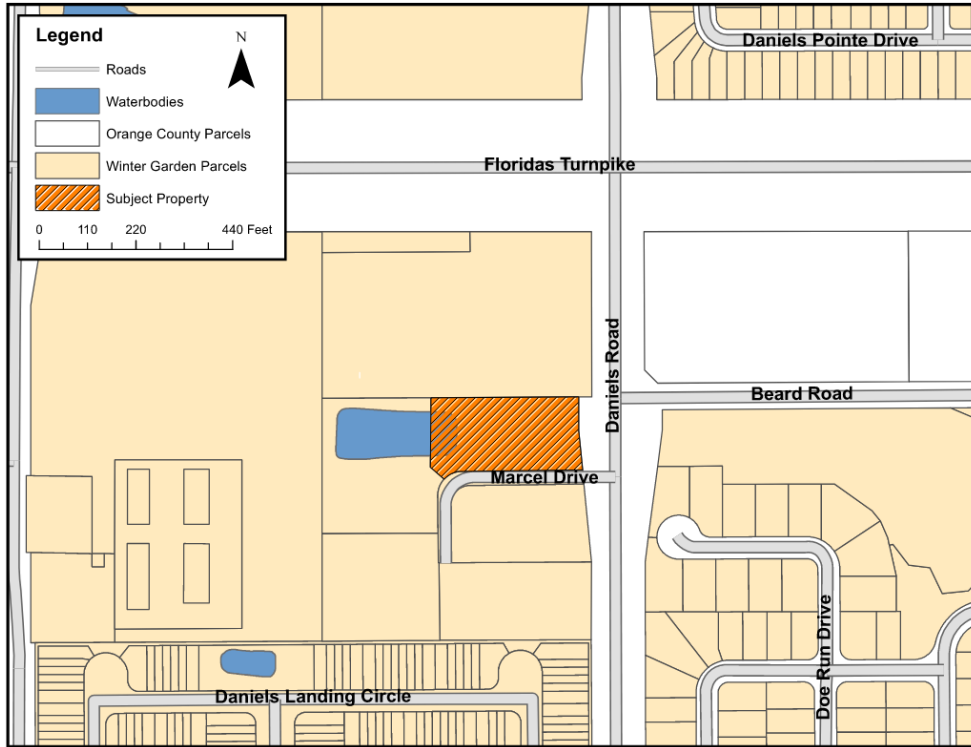
Staff recommend approval of the proposed Site Plan subject to the conditions of the DRC staff report dated March 23, 2026. Development of the property is consistent with the City's Comprehensive Plan and the property's C-2 zoning requirements.

Attachment(s)/References:

- Location Map
- Site Plan
- Landscape Plan
- Building Elevations
- DRC Combined Comments

Location Map

1600 Daniels Road



AGENCY	PERMIT #	SUBMITTED	STATUS
CITY OF WINTER GARDEN			
SEWING			
FDEP WATER			
FDEP WASTEWATER			
FDEP NPDES		BY OTHERS	

DATE	REVISIONS	BY

SITE IMPROVEMENT PLANS FOR CENTER FOR DIGESTIVE HEALTH

1600 DANIELS ROAD, WINTER GARDEN, FLORIDA 34787

LEGAL DESCRIPTION

PARCEL 1: (FEES SIMPLE ESTATE)
LOT 3, DANIELS COMMERCE CENTER, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 104, PAGE 66, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 2: (NON-EXCLUSIVE EASEMENT ESTATE)
TOGETHER WITH NON-EXCLUSIVE EASEMENTS FOR SIGN AND INGRESS AND EGRESS AND UTILITIES FOR THE BENEFIT OF PARCEL 1 AS SET FORTH AND CREATED BY THAT CERTAIN AMENDED AND RESTATED DECLARATION OF OPERATING AGREEMENT AND EASEMENT FOR INGRESS, EGRESS AND UTILITIES RECORDED DECEMBER 17, 2020 IN OFFICIAL RECORDS INSTRUMENT NO. 20200660649, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, OVER, UNDER AND ACROSS THE LANDS DESCRIBED THEREIN.

NOTE:
THE LEGAL DESCRIPTION PROVIDED HEREON IS FOR PERMITTING AND/OR CONSTRUCTION PURPOSES ONLY AND SHOULD NOT BE USED FOR TRANSFER OF RIGHT, TITLE OR INTEREST.

UTILITY CONTACTS:

WATER / WASTEWATER
CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 656-4111 EXT. 5463
CONTACT: JIM MONAHAN, P.E.

SEWER/WATER
CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 656-4111 EXT. 5463
CONTACT: JIM MONAHAN, P.E.

IRRIGATION / RECLAIMED WATER
CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 877-5449
CONTACT: RICHARD FASANO

SOLID WASTE COLLECTION
CITY OF WINTER GARDEN
300 WEST PLANT STREET
WINTER GARDEN, FLORIDA 34787
(407) 877-5449
CONTACT: RICHARD FASANO

ELECTRIC
DUKE ENERGY
452 E. CROWN POINT ROAD
WINTER GARDEN, FLORIDA 34787
(407) 905-3323
CONTACT: QJANA BARBA

COMMUNICATIONS
BRIGHOUSE NETWORKS
844 MAGUIRE ROAD
OCOCLE, FLORIDA 34761
(407) 291-2500

TELEPHONE
EMBARQ
35 NORTH MAIN STREET
WINTER GARDEN, FLORIDA 34787
841-0351 CONTACT: MICHAEL JERNIGAN

NATURAL GAS
LAKE APOPKA NATURAL GAS
1300 WINTER GREEN WAY
WINTER GARDEN, FLORIDA 33881
(407) 656-2734

OWNER / DEVELOPER
SUNSHINE MEDICAL PLAZA, LLC
ATTN: HENRY LEVINE, M.D.
1817 N. MILLS AVENUE
ORLANDO, FLORIDA 32803
(407) 241-3248

ENGINEER
CLYMER FARNER BARLEY, INC.
314 S. MISSOURI AVE., SUITE 101
CLEARWATER, FLORIDA 33756
BRIAN A. BARKER, P.E.
FL. LIC. NO. 56728
(727) 519-1000

SURVEYOR
CLYMER FARNER BARLEY, INC.
7113 ALFORD AVE.
MIDDLETON, FLORIDA 34762
JEREMY D. HALLICK, PSM
FLORIDA REGISTRATION NO. 8715
(352) 748-9126

SHEET INDEX

Sheet Number	Sheet Title
01	COVER SHEET
02	NOTES & SPECIFICATIONS
03	DEMO & EROSION CONTROL PLAN
04	SITE PLAN
05	PAVING, GRADING & DRAINAGE PLAN
06	UTILITY PLAN
07	CONSTRUCTION DETAILS
08	CONTECH DETAILS
09	CITY OF WINTER GARDEN STANDARD DETAILS
10	CITY OF WINTER GARDEN NOTES

SITE DATA (SEE PLAN SHEET 04 FOR ADDITIONAL SITE DATA INFORMATION)

PARCEL ID # 26-22-27-1989-03-000

PROJECT AREA: 1.30 AC (56,690 SF)

ZONING: WG-C-2

EXISTING LAND USE: VACANT LAND (1000 - COMMERCIAL)

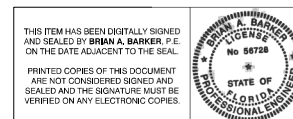
FUTURE LAND USE: COM - COMMERCIAL



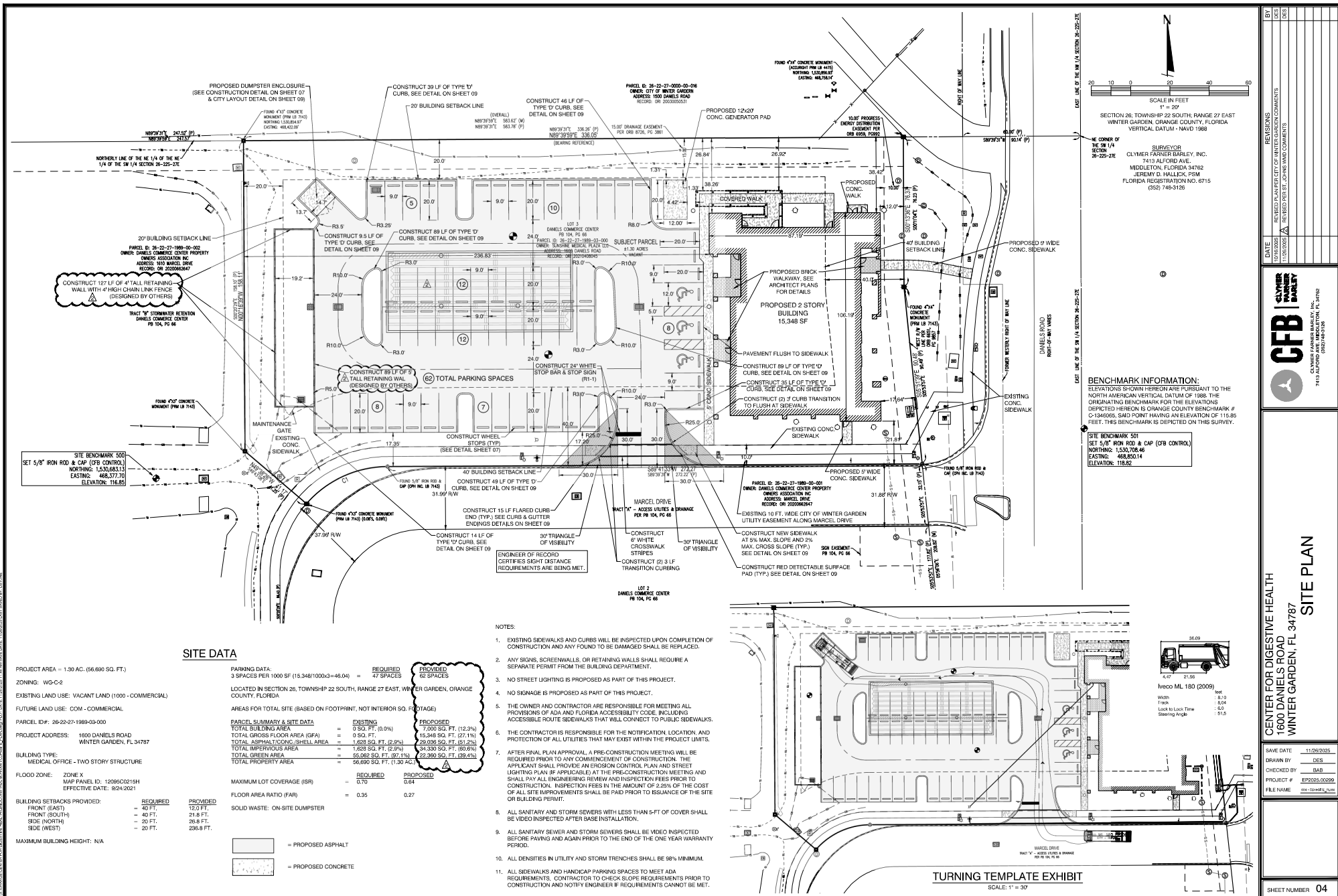
VICINITY MAP

SECTION 26; TOWNSHIP 22 SOUTH; RANGE 27 EAST
WINTER GARDEN, ORANGE COUNTY, FLORIDA
VERTICAL DATUM - NAVD 1988

Digitally signed
by Brian A Barker
Date: 2025.12.01
14:43:51-05'00'



CENTER FOR DIGESTIVE HEALTH

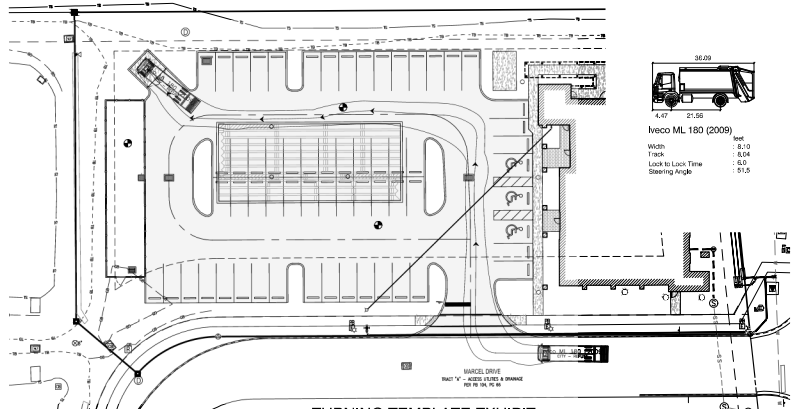


SITE DATA

PROJECT AREA = 1.30 AC (66,690 SQ. FT.)
 ZONING: WC-C-2
 EXISTING LAND USE: VACANT LAND (1000 - COMMERCIAL)
 FUTURE LAND USE: COM - COMMERCIAL
 PARCEL ID #: 26-22-27-1989-00-000
 PROJECT ADDRESS: 1600 DANIELS ROAD WINTER GARDEN, FL 34787
 BUILDING TYPE: MEDICAL OFFICE - TWO STORY STRUCTURE
 FLOOD ZONE: ZONE X
 MAP PANEL ID: 1209SC0215H
 EFFECTIVE DATE: 9/24/2021
 BUILDING SETBACKS PROVIDED:
 FRONT (EAST) = 40 FT.
 FRONT (SOUTH) = 40 FT.
 SIDE (NORTH) = 20 FT.
 SIDE (WEST) = 20 FT.
 MAXIMUM BUILDING HEIGHT: N/A

REQUIRED	PROVIDED
2 SPACES PER 1000 SF (15,348/1000=3=46.04)	47 SPACES
LOCATED IN SECTION 26, TOWNSHIP 22 SOUTH, RANGE 27 EAST, WINTER GARDEN, ORANGE COUNTY, FLORIDA	
AREAS FOR TOTAL SITE (BASED ON FOOTPRINT, NOT INTERIOR SQ. FOOTAGE)	
PARCEL SUMMARY & SITE DATA	
TOTAL BUILDING AREA = 0.50 AC. FT. (21.23%)	7,000 SQ. FT. (12.33%)
TOTAL GROSS FLOOR AREA (GFA) = 0.50 AC. FT. (21.23%)	15,248 SQ. FT. (27.13%)
TOTAL ASPHALT/CONC. DRIVEWAY AREA = 1,623 SQ. FT. (2.9%)	25,009 SQ. FT. (41.23%)
TOTAL ASPHEROUS AREA = 1,623 SQ. FT. (2.9%)	31,330 SQ. FT. (51.33%)
TOTAL GREEN AREA = 55,082 SQ. FT. (97.1%)	22,360 SQ. FT. (39.4%)
TOTAL PROPERTY AREA = 66,690 SQ. FT. (1.30 AC.)	
MAXIMUM LOT COVERAGE (ISR) = 0.70	0.64
FLOOR AREA RATIO (FAR) = 0.55	0.27
SOLID WASTE: ON-SITE DUMPSTER	

- NOTES:
- EXISTING SIDEWALKS AND CURBS WILL BE INSPECTED UPON COMPLETION OF CONSTRUCTION AND ANY FOUND TO BE DAMAGED SHALL BE REPLACED.
 - ANY SIGNS, SCREENWALLS, OR RETAINING WALLS SHALL REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
 - NO STREET LIGHTING IS PROPOSED AS PART OF THIS PROJECT.
 - NO SIGNAGE IS PROPOSED AS PART OF THIS PROJECT.
 - THE OWNER AND CONTRACTOR ARE RESPONSIBLE FOR MEETING ALL PROVISIONS OF ADA AND FLORIDA ACCESSIBILITY CODE, INCLUDING ACCESSIBLE ROUTE SIDEWALKS THAT WILL CONNECT TO PUBLIC SIDEWALKS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS.
 - AFTER FINAL PLAN APPROVAL, A PRE-CONSTRUCTION MEETING WILL BE REQUIRED PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION. THE APPLICANT SHALL PROVIDE AN EROSION CONTROL PLAN AND STREET LIGHTING PLAN (IF APPLICABLE) AT THE PRE-CONSTRUCTION MEETING AND SHALL PAY ALL ENGINEERING REVIEW AND INSPECTION FEES PRIOR TO CONSTRUCTION. INSPECTION FEES IN THE AMOUNT OF 2.25% OF THE COST OF ALL SITE IMPROVEMENTS SHALL BE PAID PRIOR TO ISSUANCE OF THE SITE OR BUILDING PERMIT.
 - ALL SANITARY AND STORM SEWERS WITH LESS THAN 8-FIT OF COVER SHALL BE VIDEO INSPECTED AFTER BASE INSTALLATION.
 - ALL SANITARY SEWER AND STORM SEWERS SHALL BE VIDEO INSPECTED BEFORE PAVING AND AGAIN PRIOR TO THE END OF THE ONE-YEAR WARRANTY PERIOD.
 - ALL DENSITIES IN UTILITY AND STORM TRENCHES SHALL BE 98% MINIMUM.
 - ALL SIDEWALKS AND HANDICAP PARKING SPACES TO MEET ADA REQUIREMENTS. CONTRACTOR TO CHECK SLOPE REQUIREMENTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF REQUIREMENTS CANNOT BE MET.



BY	REVISIONS
DES	
DSS	
DATE	
11/20/2025	
1/20/2025	

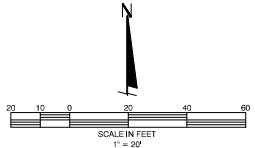
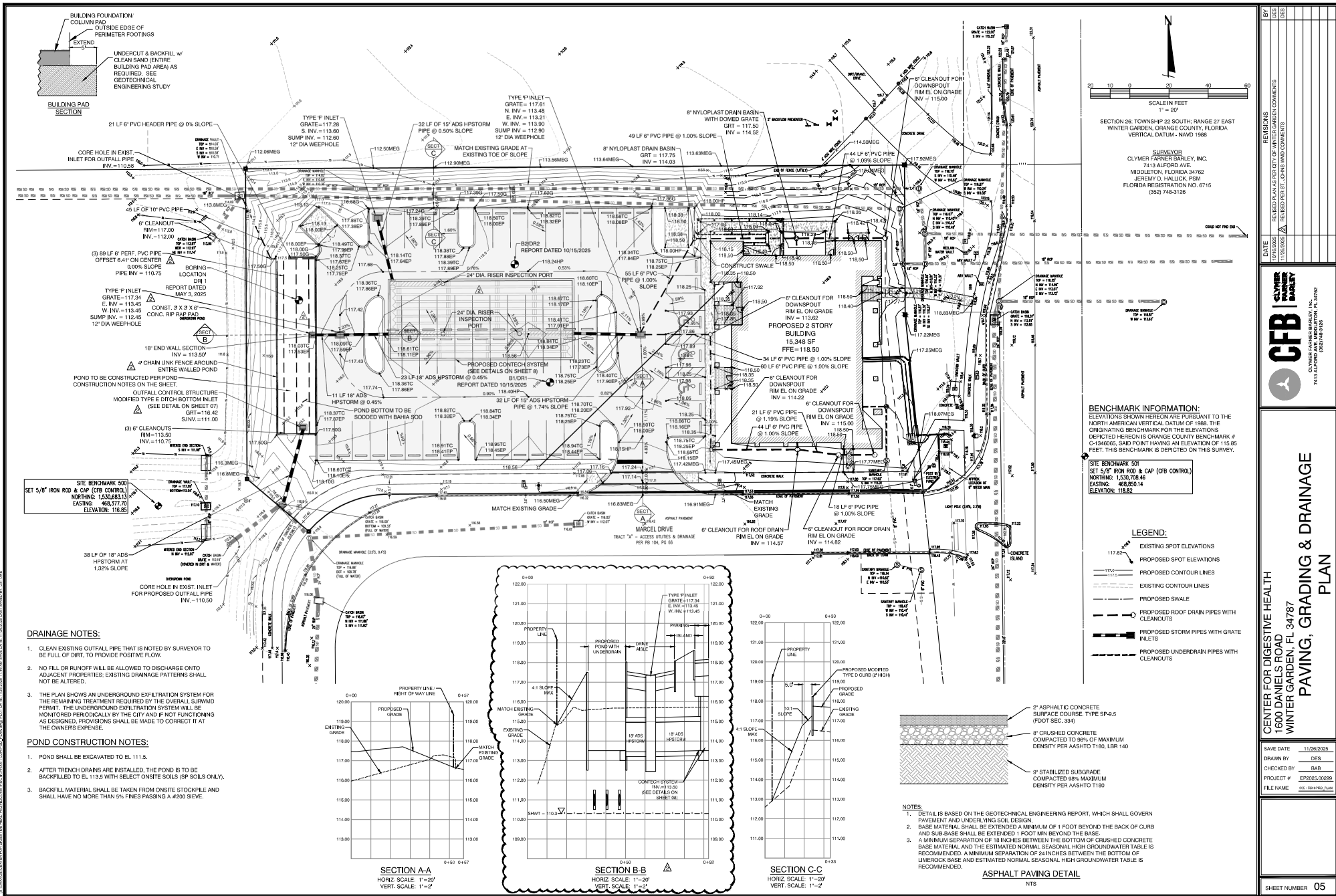
CFB CLYMER FARMER BARILEY SURVEYOR
 7413 ALFORD AVE. MIDDLETON, FLORIDA 34762
 JEREMY D. HULLICK, FSM
 FLORIDA REGISTRATION NO. 6715 (SS) 746-3126

BENCHMARK INFORMATION:
 ELEVATIONS SHOWN HEREIN ARE PRECISANT TO THE NORTH AMERICAN VERTICAL DATUM OF 1988. THE ORIGINAL BENCHMARK FOR THE ELEVATIONS DISPLAYED HEREON IS ORANGE COUNTY BENCHMARK # C-1346065, SAID POINT HAVING AN ELEVATION OF 115.85 FEET. THIS BENCHMARK IS DEPICTED ON THIS SURVEY.

SITE BENCHMARK 501
 SET 5/8" IRON ROD & CAP (CFB CONTROL)
 NORTHING: 1,532,05.04
 EASTING: 468,850.14
 ELEVATION: 115.82

TURNING TEMPLATE EXHIBIT
 SCALE: 1" = 30'

SHEET NUMBER 04



SECTION 28, TOWNSHIP 22 SOUTH, RANGE 27 EAST
 WATER CARRIEN, ORANGE COUNTY, FLORIDA
 VERTICAL DATUM - NAVD 1988

SURVEYOR
 CLYMER FARMER BARLEY, INC.
 7413 ALFORD AVE.
 MIDDLETON, FLORIDA 34762
 JEREMY D. HALLICK, PSM
 FLORIDA REGISTRATION NO. 6715
 (852) 748-3128

BENCHMARK INFORMATION:
 ELEVATIONS SHOWN HEREON ARE PURSUANT TO THE
 NORTH AMERICAN VERTICAL DATUM OF 1988. THE
 ORIGINATING BENCHMARK FOR THE ELEVATIONS
 DEPICTED HEREON IS ORANGE COUNTY BENCHMARK #
 C-1346265. SAID POINT HAVING AN ELEVATION OF 115.85
 FEET. THIS BENCHMARK IS DEPICTED ON THIS SURVEY.

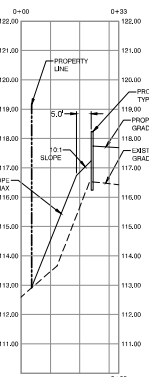
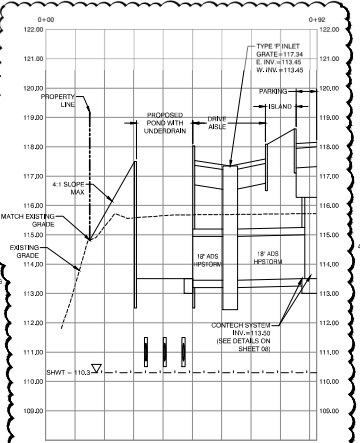
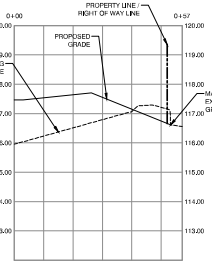
LEGEND:
 117.82' EXISTING SPOT ELEVATIONS
 117.00' PROPOSED SPOT ELEVATIONS
 117.00' PROPOSED CONTOUR LINES
 --- EXISTING CONTOUR LINES
 --- PROPOSED SWALE
 --- PROPOSED ROOF DRAIN PIPES WITH CLEANOUTS
 --- PROPOSED STORM PIPES WITH GRATE INLETS
 --- PROPOSED UNDERDRAIN PIPES WITH CLEANOUTS

ASPHALT PAVING DETAIL
 NTS
 2" ASPHALTIC CONCRETE SURFACE COURSE, TYPE SP-9.5 (FOOT SEC. 334)
 6" CRUSHED CONCRETE COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T190, LBR 140
 9" STABILIZED SUBGRADE COMPACTED TO 98% OF MAXIMUM DENSITY PER AASHTO T190

- NOTES:**
1. DETAIL IS BASED ON THE GEOTECHNICAL ENGINEERING REPORT, WHICH SHALL GOVERN PAVEMENT AND UNDERLYING SOIL DESIGN.
 2. BASE MATERIAL SHALL BE EXTENDED A MINIMUM OF 1 FOOT BEYOND THE BACK OF CURB AND SUBBASE SHALL BE EXTENDED 1 FOOT MIN BEYOND THE BASE.
 3. A MINIMUM SEPARATION OF 18 INCHES BETWEEN THE BOTTOM OF CRUSHED CONCRETE BASE MATERIAL AND THE ESTIMATED NORMAL SEASONAL HIGH GROUNDWATER TABLE IS RECOMMENDED. A MINIMUM SEPARATION OF 24 INCHES BETWEEN THE BOTTOM OF LIMESTONE BASE AND ESTIMATED NORMAL SEASONAL HIGH GROUNDWATER TABLE IS RECOMMENDED.

- DRAINAGE NOTES:**
1. CLEAN EXISTING OUTFALL PIPE THAT IS NOTED BY SURVEYOR TO BE FULL OF DIRT, TO PROVIDE POSITIVE FLOW.
 2. NO FILL OR RUNOFF WILL BE ALLOWED TO DISCHARGE ONTO ADJACENT PROPERTIES. EXISTING DRAINAGE PATTERNING SHALL NOT BE ALTERED.
 3. THE PLAN SHOWS AN UNDERGROUND EXFILTRATION SYSTEM FOR THE REMAINING TREATMENT REQUIRED BY THE OVERALL S/RWMD PERMIT. THE UNDERGROUND EXFILTRATION SYSTEM WILL BE MONITORED PERIODICALLY BY THE CITY AND IF NOT FUNCTIONING AS DESIGNED, PROVISIONS SHALL BE MADE TO CORRECT IT AT THE OWNERS EXPENSE.

- POND CONSTRUCTION NOTES:**
1. POND SHALL BE EXCAVATED TO EL. 111.5.
 2. AFTER TRENCH DRAINS ARE INSTALLED, THE POND IS TO BE BACKFILLED TO EL. 113.5 WITH SELECT ONSITE SOILS (SP SOILS ONLY).
 3. BACKFILL MATERIAL SHALL BE TAKEN FROM ONSITE STOCKPILE AND SHALL HAVE NO MORE THAN 5% FINES PASSING A #200 SIEVE.



DATE	BY	REVISIONS
12/15/2022	DES	REVISION PLAN AS PER CITY OF WINTER GARDEN COMMENTS
1/20/2023	DES	REVISED PER ST. JOHN'S ROAD COMMENTS

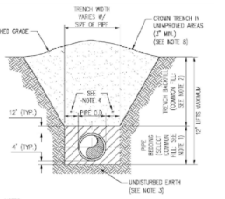


CFB
 CLYMER FARMER BARLEY, INC.
 7413 ALFORD AVE.
 MIDDLETON, FLORIDA 34762

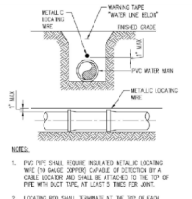
PLAN
 PAVING, GRADING & DRAINAGE

SAVE DATE: 11/29/2022
 DRAWN BY: DES
 CHECKED BY: BAB
 PROJECT #: EP2025-02209
 FILE NAME: 08-1000-05.dwg

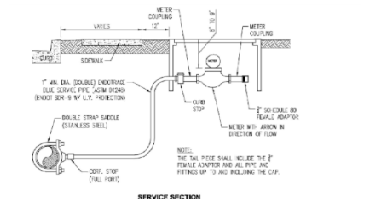
SHEET NUMBER 05



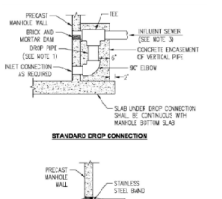
- 1 STANDARD BEDDING DETAIL**
N.T.S.
- PIPE SHALL BE SET IN BEDDING FULL COMPACTED TO THE BOTTOM OF THE TRENCH TO THE FULL DEPTH OF THE BEDDING. THE BEDDING SHALL BE COMPACTED TO THE FULL DEPTH OF THE BEDDING. THE BEDDING SHALL BE COMPACTED TO THE FULL DEPTH OF THE BEDDING.
 - TRENCH BACKFILL COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER ASTM D-1557 AND CONTAINING NO MORE THAN 15% FINER PASSING NO. 20.
 - PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK IS ALLOWED WITH THE DESIGNER AND FLOODING MAY BE REQUIRED AS DIRECTED BY THE CITY OF WINTER GARDEN.
 - IF 1/2" BEDDING IS USED FOR THE DIAMETER USE 24" MAX. 2" MAX. FOR PIPE 30" TO 36" DIAMETER.
 - WALK SHALL NOT BE PLACED IN THE TRENCH BEHIND CONNECTION.
 - ALL PIPE TO BE INSTALLED WITH BELLS FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
 - NOTES TO SECTION 025 OF THE CITY OF WINTER GARDEN MANUAL OF STANDARD AND SPECIFICATIONS FOR UTILITIES SHALL APPLY TO THIS CONSTRUCTION FOR DETAILING AND FINISHING OPERATIONS.
 - FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL CITY SPECIFICATIONS FOR IMPROVED SURFACE RESTORATION AND ALL CITY OF WINTER GARDEN SPECIFICATIONS FOR DETAILING AND FINISHING OPERATIONS.



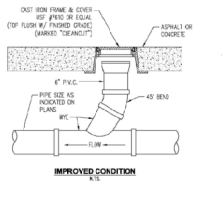
- 2 PVC PIPE LOCATING WIRE DETAIL**
N.T.S.
- PVC PIPE SHALL BE LOCATED WITH METALLIC LOCATING WIRE. THE METALLIC LOCATING WIRE SHALL BE PLACED TO THE TOP OF THE PIPE AND SHALL BE 1/2" IN DIAMETER.
 - LOCATING WIRE SHALL BE PLACED AT THE TOP OF EACH END OF EACH PIPE AND SHALL BE 1/2" IN DIAMETER.



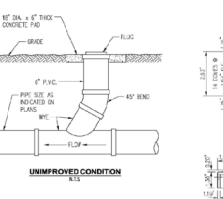
- 3 STANDARD DROP CONNECTION**
N.T.S.
- STANDARD DROP CONNECTION SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
 - STANDARD DROP CONNECTION SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.



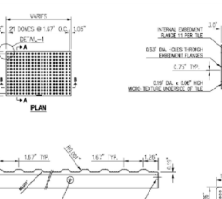
- 4 IMPROVED CONDITION**
N.T.S.
- IMPROVED CONDITION SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
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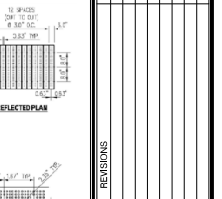
- 5 SANITARY SEWER CLEAN OUT DETAIL**
N.T.S.
- SANITARY SEWER CLEAN OUT SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
 - SANITARY SEWER CLEAN OUT SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.



- 6 MANHOLE CONNECTION DETAIL**
N.T.S.
- MANHOLE CONNECTION SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
 - MANHOLE CONNECTION SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.



- 7 SIDEWALK DETAILS**
N.T.S.
- SIDEWALK SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
 - SIDEWALK SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.



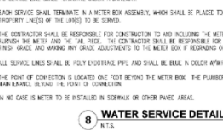
- 8 WATER SERVICE DETAIL**
N.T.S.
- WATER SERVICE SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
 - WATER SERVICE SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.



- 9 CURB RAMPS & DETECTABLE WARNING PLACEMENT**
N.T.S.
- CURB RAMP SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
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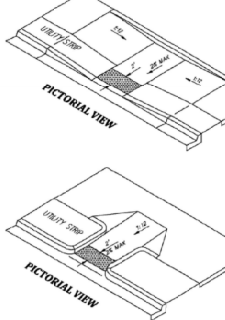
- 10 DETECTABLE WARNING DETAIL**
N.T.S.
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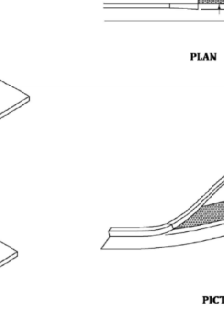
- 11 SAWCUT TYPICAL DETAIL**
N.T.S.
- SAWCUT SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
 - SAWCUT SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.



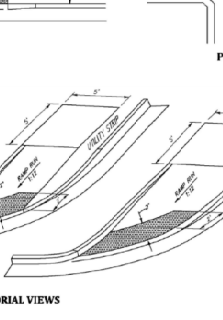
- 12 DUMPSTER LAYOUT DETAIL**
N.T.S.
- DUMPSTER SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
 - DUMPSTER SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.



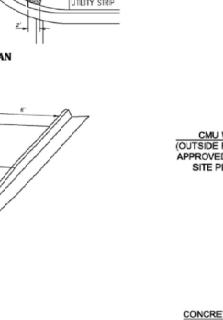
- 13 CURB RAMPS & DETECTABLE WARNING PLACEMENT**
N.T.S.
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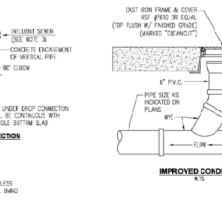
- 14 DETECTABLE WARNING DETAIL**
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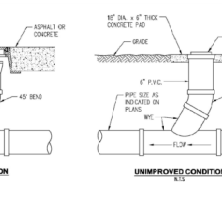
- 15 SAWCUT TYPICAL DETAIL**
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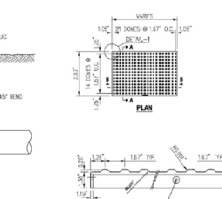
- 16 DUMPSTER LAYOUT DETAIL**
N.T.S.
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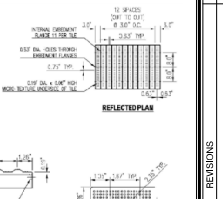
- 17 CURB RAMPS & DETECTABLE WARNING PLACEMENT**
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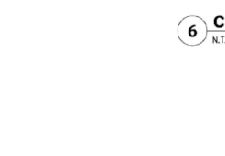
- 18 DETECTABLE WARNING DETAIL**
N.T.S.
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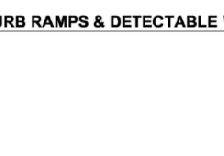
- 19 SAWCUT TYPICAL DETAIL**
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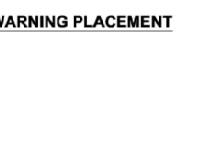
- 20 DUMPSTER LAYOUT DETAIL**
N.T.S.
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- 21 CURB RAMPS & DETECTABLE WARNING PLACEMENT**
N.T.S.
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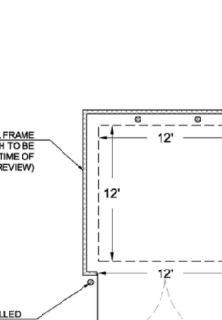
- 22 DETECTABLE WARNING DETAIL**
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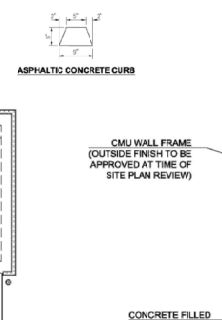
- 23 SAWCUT TYPICAL DETAIL**
N.T.S.
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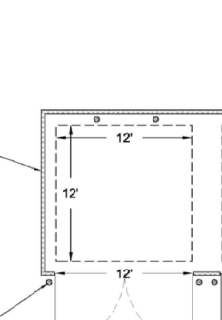
- 24 DUMPSTER LAYOUT DETAIL**
N.T.S.
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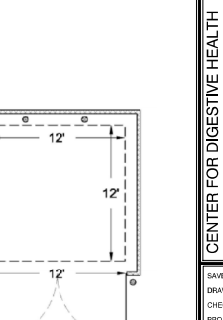
- 25 CURB RAMPS & DETECTABLE WARNING PLACEMENT**
N.T.S.
- CURB RAMP SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
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- 26 DETECTABLE WARNING DETAIL**
N.T.S.
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 - DETECTABLE WARNING SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.

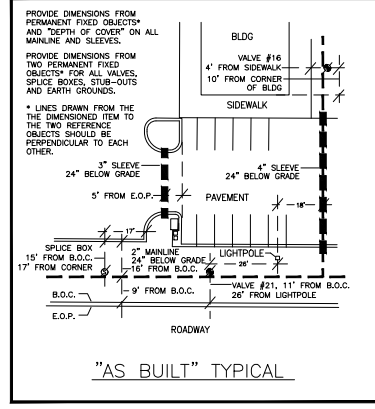
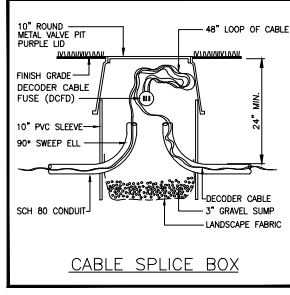
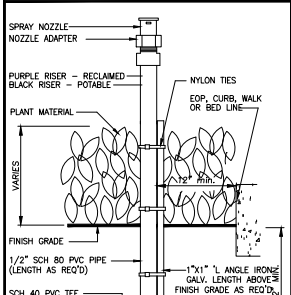
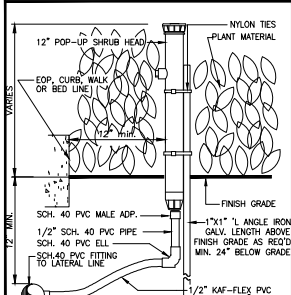
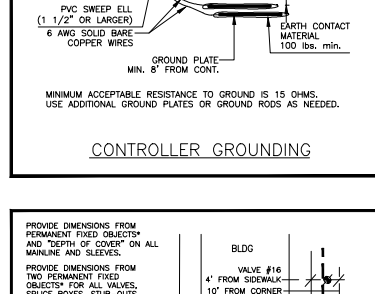
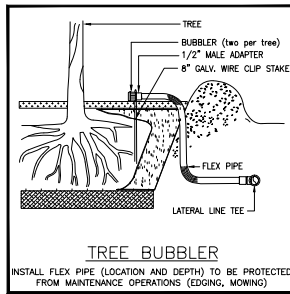
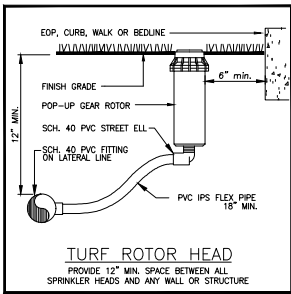
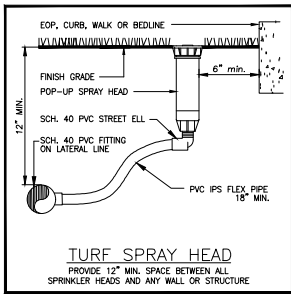
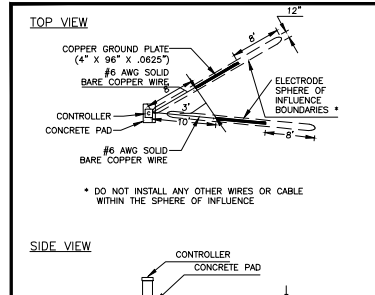
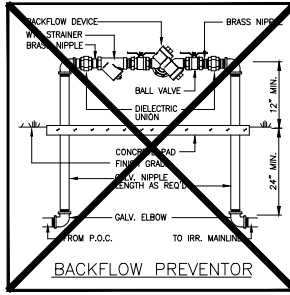
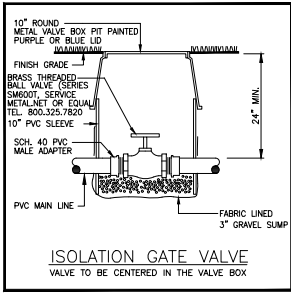
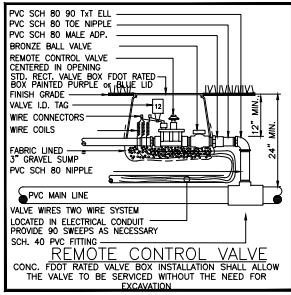


- 27 SAWCUT TYPICAL DETAIL**
N.T.S.
- SAWCUT SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
 - SAWCUT SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.



- 28 DUMPSTER LAYOUT DETAIL**
N.T.S.
- DUMPSTER SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.
 - DUMPSTER SHALL BE CONSTRUCTED WITH MANHOLE JOINT MATERIAL.

BY	
REVISIONS	
DATE	
CITY OF WINTER GARDEN	
CENTER FOR DIGESTIVE HEALTH	
1600 DANIELS ROAD	
WINTER GARDEN, FL 34787	
STANDARD DETAILS	
SAVE DATE	11/29/2025
DRAWN BY	DES
CHECKED BY	BAW
PROJECT #	EP2025-00206
FILE NAME	011-02-04-14
SHEET NUMBER	09



Hunter Two Wire - Grounding and Shielding

At the very minimum, the grounding circuit for a decoder will include a copper ground plate and may also include 50 Pounds/22 kg of earth contact material, as defined below and per the following detail. The copper grounding plate assemblies must meet the minimum requirements of section 250 of the NEC. They are to be made of copper alloy intended for grounding applications and will have minimum dimensions of 4" x 36" x 0.0625" (100 mm x 1.2 m x 1.58 mm). A 10-foot/3 m continuous length (no splices allowed unless using acrobatic welding process) of 10 AWG/5 mm² solid bare copper wire is to be attached to the plate using an approved welding process. This wire is to be connected to the decoder's ground wire and 10 AWG/5 mm² bare copper "shielding wire" as shown in wiring details. A 50-pound/22 kg bag of earth contact material must be spread so that it surrounds the copper plate evenly along its length within a 6"/15 cm wide trench per detail below. Salts, fertilizers and other chemicals are not to be used in an attempt to improve soil conductivity because these materials are corrosive and will cause the copper conductors and electrodes to erode and become less effective with time. 0. Install all grounding circuit components in straight lines. When it is necessary to make bends, do not make sharp turns. To prevent the electrode-discharged energy from re-entering the underground cables, all electrodes shall be installed 6 to 8 feet/2 to 2.5 m away from solid cables, and at right angles to the two-wire path. If more than one electrode is used to achieve lower resistance, the spacing between any two electrodes shall be 15 to 20 feet/4.5 to 6 m, so that they don't compete for the same soil. 0. The earth-to-ground resistance of this circuit is to be no more than 10 ohms. If the resistance is more than 10 ohms, then additional ground plates and earth contact material are to be installed in the direction of an irrigated area. It is required that the soil surrounding copper electrodes be kept at a minimum moisture level of 15% at all times by dedicating an irrigation station at each controller location.

FIELD CHANGES:

This Irrigation Design was based on the most recent site and landscape plan available to the Irrigation Designer at the time of the design. The following irrigation principals were incorporated into this design:

- Dedicated bubbler zones for all new trees.
- Dedicated spray zones for all new annual beds.
- Landscape beds and sod are on separate zones.
- Spray heads and rotator/rotors are on separate zones.
- All sprinkler heads within a zone are "matched precipitation rate".
- "Single row" sprinklers (along edge of pavement, fence line, pond bank) are on separate zones from areas covered by "square" or "triangular" spaced sprinklers.

Site and / or Landscape changes that were made after the time of this design will require Field Changes. Field Changes made by the Irrigation Contractor that do not incorporate these irrigation principals will not be accepted and will be corrected at the Irrigation Contractors expense.

IRRIGATION NOTES:

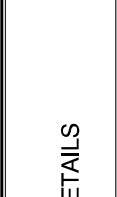
1. Irrigation system design requirements: 55 GPM at a minimum of 60 PSI at the point of connection. The Irrigation Contractor shall verify and confirm available GPM and PSI prior to installation of the system. See irrigation plan for information on point of connection to the reclaim water system. A new 2.0 inch reclaim water shall be required and the irrigation contractor shall coordinate with the local utility agency for this new reclaim water meter. Coordinate with General Contractor for electrical service for irrigation controller for the proposed irrigation system. The contractor shall not deviate from the installation base on the plans, specifications and details provided for the landscape plans. The irrigation contractor shall adhere to state and local codes for installation of the irrigation system for this project.
2. Do not willfully install the irrigation system as shown on the drawings when it is obvious in the field that conditions exist that might not have been considered in the design process. For example: obstructions, grade differences, water levels, dimensional differences, etc. Refer to the Landscape Plan to avoid conflicts with proposed trees or shrubs.
3. Piping may sometimes be indicated as being located in utility areas i.e., under buildings or pavement, outside of property lines, in lakes or ditches, etc. This is done for graphic clarity only. Whenever possible, piping is to be installed in open, green areas.
4. If required, the Irrigation Contractor shall provide all the necessary "Right of Way" use permits from any governing agencies associated with the project.
5. Pipe sizes shall conform to those on the drawings. Substituting with smaller pipe sizes will not be permitted.
6. Mainline is to be installed with a minimum of 18"-24" depth of cover. Lateral lines are to be installed with a minimum of 12" depth of cover.
7. Unless otherwise indicated, all sleeves shall be PVC SCH 40 and two (2) nominal sizes larger than the pipe to be sleeved. For example: The sleeves for a 2" pipe shall be 3". No irrigation sleeves shall be smaller than 2". Sleeves under paved surfaces shall be installed by the SITE CONTRACTOR UNDER ALL PAVED SURFACES. Sleeves shall extend beyond paved surfaces a minimum of 12 inches and end of pipes shall be ducted taped. A 3/8"x12" inch stake shall be staked at each end of stake irrigation sleeve. Blue for possible irrigation sleeve; Purple for reclaim sleeves, stake shall be driving a minimum of 1 foot into the ground and 2 feet above the finish grade. Irrigation contractor shall coordinate location of irrigation sleeves with the site contractor.
8. Whenever practical, install valves in ducted beds and/or out of high traffic areas. All valves and wire splices shall be installed in fiber concrete valve boxes with matched plated steel lids (available from Ferguson Waterworks):
Remote Control Valves (19" x 25" x 12") std. rec. box
Isolation Gate Valves (19" x 25" x 12") std. rec. box
Wire Splices (19" x 25" x 12") std. rec. box
9. The bottom and sides of the valve boxes shall be lined with landscape fabric. Install a 3" deep bed of gravel on the landscape fabric to create a drainage sumo.
10. All valve boxes are fiber concrete 12" 24"x12" BOX W/1/2" ROR LID Model No. SP-4012412M with metal flange LIDS to be painted "PURPLE" for reclaim and painted "BLUE" for irrigation potable water BY IRRIGATION CONTRACTOR provide sample paint colors to Owner for approval prior to painting lids. Unpainted FDOT traffic related boxes are available from Ferguson Waterworks, 751-Tampa St. Waterworks Bldg. 800 S. 8th Ave., Tampa, FL 33604-0400, phone 813-627-1240, fax 813-627-1299. No substitution will be accepted for this line item unless approved by Owner.
11. Refer to Valve Designation Symbols for controller, station number and designed flow rate for each remote control valve.
12. The two-wire path between the controller and the decoders shall be two (2) UL Listed, single strand, type UF 600 Volt control cables (12-1 AWG). Use one (1) RED and one (1) BLUE colored wire to match color coded connections on the Decoders. Maximum distance from the controller to the furthest decoder shall be 1,500'. Install Decoder Cable in a 1" PVC conduit. Provide electrical shunt sweeps in selected valve boxes and splice boxes.
13. All Decoders shall be installed in the valve box along with the solenoid that they are connected to.
14. All splices to the control wiring shall be made with #18 AWG/2.0mm² UL Listed direct bury splice kits Use "yellow" or "red" kits as needed. All control wires shall be installed in electrical conduits no smaller than 1 inch diameter with 90 degree sweeps.
15. All pop-up sprinkler heads shall be installed level and flush to grade. Mount all sprinklers on flexible connections as follows:
1/2" inlet spray heads 18" of 3/4" Heavy Wall PVC IPS Hoses
3/4" inlet spray heads 18" of 1" Heavy Wall PVC IPS Hoses
16. The tops of all shrub sprinklers shall be installed 12" above the height of the surrounding plant material. For plant heights of 12" or more, support the riser with a 1"x1" galvanized L stake and nylon cable tie. All risers shall be placed a minimum of 12" from any sidewalk, edge of pavement or structure and a minimum of 24" below finish grade and 2 inches below top of irrigation heads.
17. Location of all sprinkler heads shall be site adjusted to minimize water over/throw onto building surfaces and walkways. Throttle valves on spray zones as required to prevent bogging.
18. Exact controller location(s) shall be coordinated with an Owner's Representative prior to installation. Unless otherwise stated, the General Contractor shall provide 110 volt power to the controller location(s). The Irrigation Contractor is responsible for the connection from the power source to the controller(s). For outdoor mounted controllers, the 110 volt service to the irrigation controller shall be in conduit. All 110 volt electrical work shall meet Local Codes.
19. At each irrigation controller, install a "secondary surge arrester" to the incoming (120 volt) power supply (Intermatic 6AG2401 or equal).
20. Each irrigation controller, install an "supplementary earth ground grid" with a minimum of two (2) 4" x 6" grounding plates. Test the resistance to earth per NFPA Standard #780. A acceptable earth ground should have 10 ohms or less resistance. Use more plates or grounding rods as needed to achieve the desired resistance reading.
21. The wireless rain shutoff device shall be installed to meet local codes and/or minimum manufacturer's recommendations. Obstructions, vandalism and ease of service shall be considered in locating the device.
22. The IRRIGATION CONTRACTOR shall prepare an AS-BUILT drawing on reproducible paper detailing the actual installation of the irrigation system. The AS-BUILT drawings shall locate all main line piping, control wires, wire splices, sleeves and valves by showing exact measurements from permanent features (buildings, edge of pavement, power poles, fire hydrants, etc.). Include depth of cover on mainline and sleeves. AS-BUILT irrigation drawings shall be provide prior to final payment and reviewed by the Owner and his representative.
23. No product substitutions will be permitted without the written permission of the Owner's Representative. Irrigation Contractor to provide submittals of all irrigation equipment to the Owner's Representative for approval prior to beginning installation.
24. Any other equipment required that is not otherwise detailed or specified shall be installed as per manufacturer's recommendations and local codes.



Know what's below.
Call before you dig.

TICKET NUMBER(S): 0010104

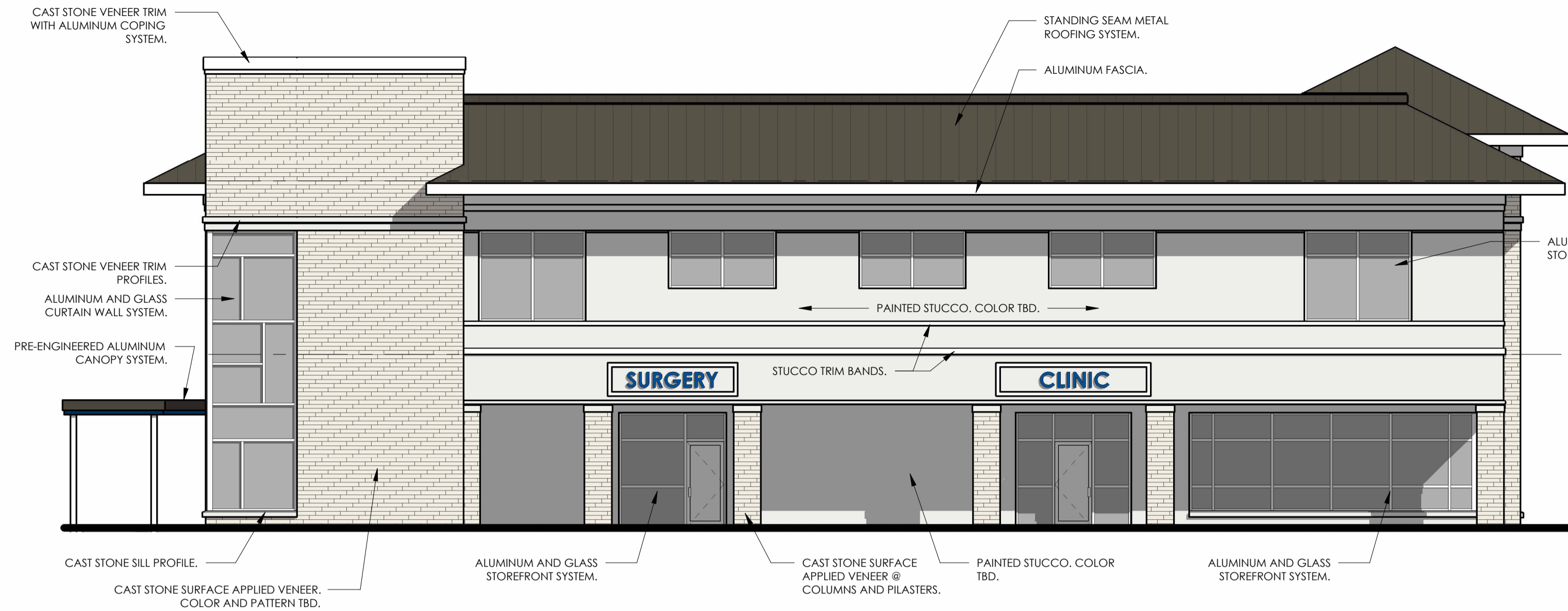
DATE	REVISIONS
1/24/2025	1. Per OPRM Requirements
DATE	BY
	LC



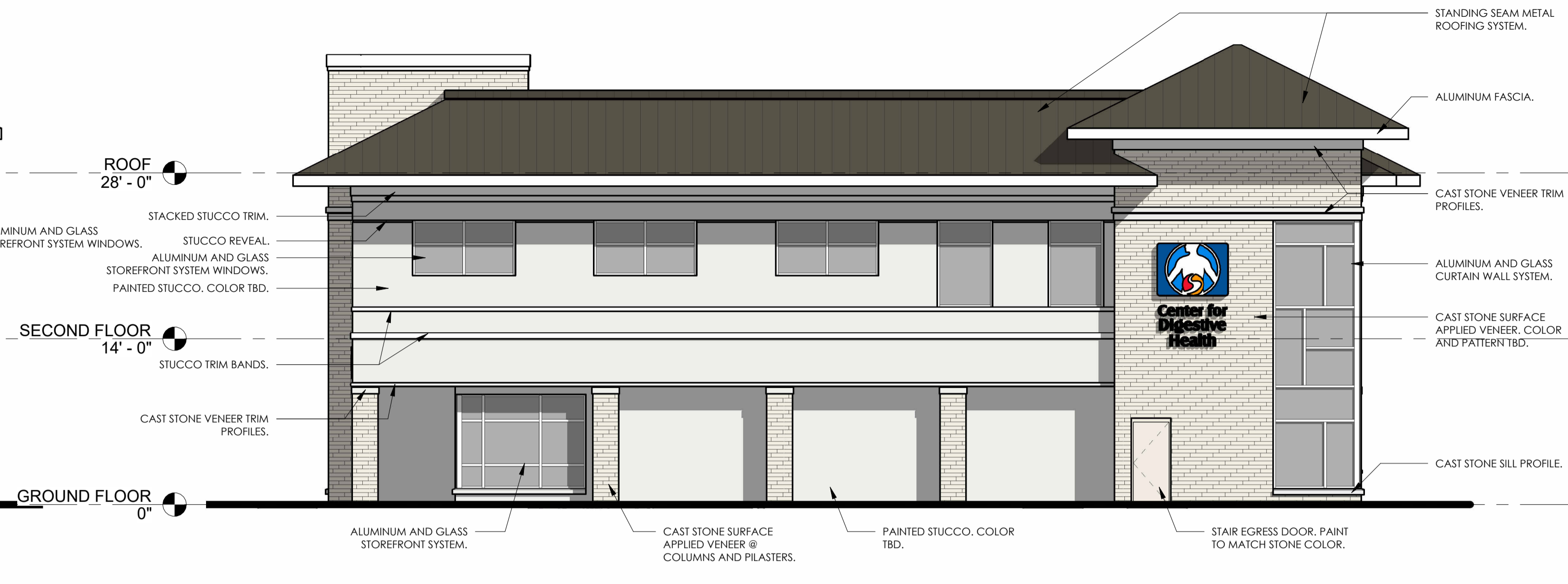
CENTER FOR DIGESTIVE HEALTH
1600 DANIELS ROAD
WINTER GARDEN, FL 34787

SAVE DATE 11/26/2025
DRAWN BY DES
CHECKED BY BAE
PROJECT # 2300560000
FILE NAME 2300560000

SHEET NUMBER 04



1 WEST ELEVATION
A4.1 1/8" = 1'-0" PARKING LOT ELEVATION



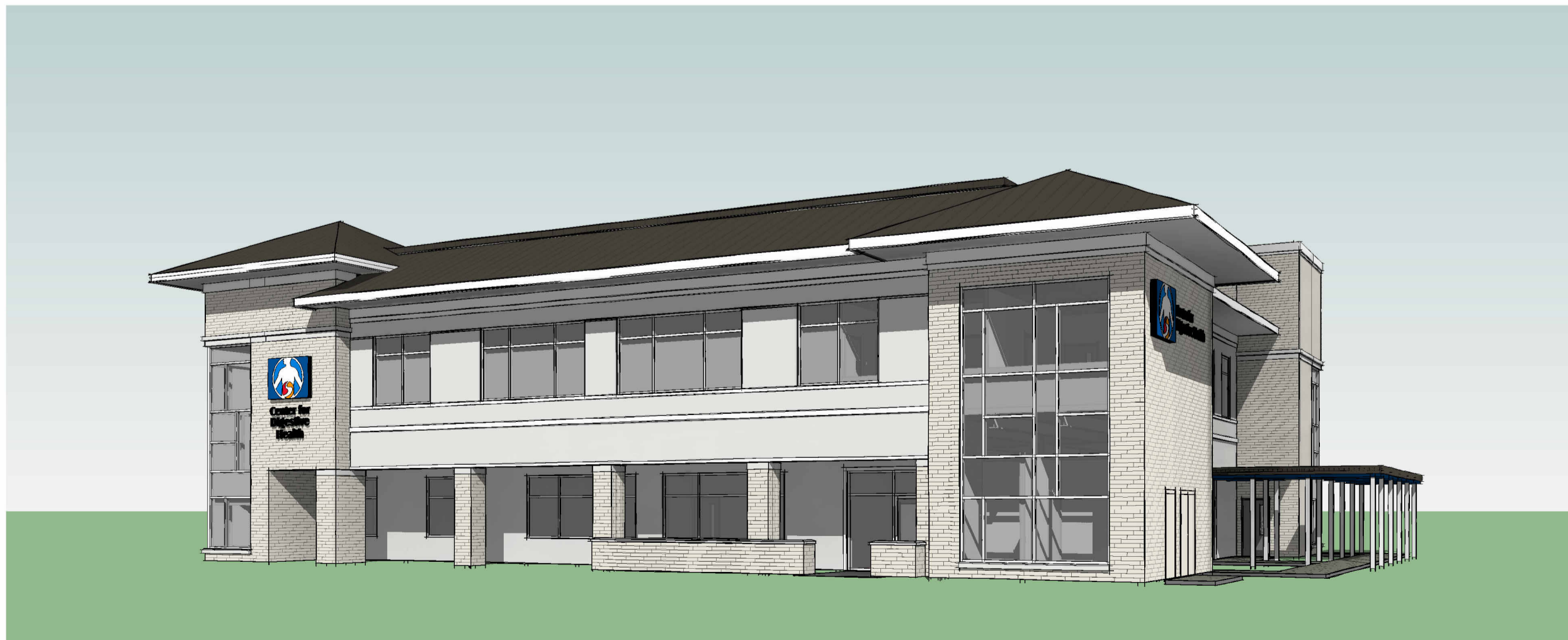
2 SOUTH ELEVATION
A4.1 1/8" = 1'-0" MARCEL DRIVE ELEVATION



3 EAST ELEVATION
A4.1 1/8" = 1'-0" DANIELS ROAD ELEVATION



4 NORTH ELEVATION
A4.1 1/8" = 1'-0" APPROACH FROM THE TURNPIKE OVERPASS



SEAL

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AR0000957

Gordon & Associates
ARCHITECT, L.L.C.

MEDICAL OFFICE AND SURGERY CENTER

CITY OF WINTER GARDEN SITE PLAN APPROVAL

PROJECT NO. 2407

CONTENTS

BUILDING ELEVATIONS

CENTER FOR DIGESTIVE HEALTH

WINTER GARDEN, FLORIDA

DATE	REVISION
5/22/2025	

A4.1

CITY OF WINTER GARDEN

Development Review Committee

300 West Plant Street - Winter Garden, Florida 34787-3011

(407) 656-4111 - FAX (407) 877-2363

MEMORANDUM

TO: KELLY CARSON, PLANNING DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: MARCH 23, 2026
SUBJECT: REVIEW OF SITE PLAN – 1600 DANIELS ROAD
CENTER FOR DIGESTIVE HEALTH – LOT 3 DANIELS COMMERCE CENTER

Pursuant to your request, we have reviewed the revised site plan dated 3/06/26 for compliance with the City's stormwater and site requirements. The plan proposes the construction of a new 2-story medical office building of 15,348 s.f. on the vacant 1.31 acre C-2 zoned parcel. This was submitted in response to our site plan review of 11/03/25 and DRC meeting of 11/19/25 where it was referred to staff review only.

ENGINEERING

We recommend approval of the site plan, subject to approval by all other departments and the following conditions and comments. Underlined comments shall be addressed prior to pre-con:

1. Planning Department shall review and comment on proposed uses, zoning, parking, setbacks, landscaping, buffering, lighting and signage requirements, including C-2 zoning requirements.
2. General Requirements (as noted):
 - a. All gravity sanitary pipe and fittings shall be SDR 26.
 - b. All compaction shall be 98% of the modified proctor maximum density (AASHTO T-180).
 - c. As-built record drawings shall comply with City of Winter Garden requirements available on-line (note on plan).
 - d. All Storm (>12") and Sanitary lines (>6") shall be inspected by CCTV prior to completion.
 - e. Use City Standard Detail sheets for utilities and public works (see City website).
 - f. If Thermoplastic pipe is used it shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe (**not HDPE or N-12**), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
 - g. All utilities shall be underground pursuant to Code (Sec. 18-33) including electrical power, cable, telephone, etc.
3. No trees may be planted over or within 5 feet of any utility lines. Only sod or shrubs may be planted over utility lines.
4. Landscaping shall not encroach on required sight lines at intersections or driveways. Design Engineer has provided certification that sight distance requirements are being met. All irrigation on the site shall be designed to be supplied by reclaimed water.
5. Sheet 05 – Paving, Grading & Drainage Plan:
 - a. The existing outfall piping is noted to be full of dirt and water. Notes have been added stating this shall be cleaned out providing positive flow.
 - b. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered.
 - c. The plan shows an underground exfiltration system for the remaining treatment required by the overall SJRWMD permit. **The system will be monitored periodically by the City and if it is not functioning as designed, provisions shall be made to correct it at the Owner's expense. By approving this design/plan the City of Winter Garden will not accept any liability for the**

system designed by the Engineer of Record including the use of corrugated metal pipe.

- d. Informational: Maximum impervious surface for C-2 zoning is 70% but must be supported by the St. Johns River Water Management District permit.
- 6. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. All irrigation on the site shall be designed to be supplied by reclaimed water. Confirm previous impact fee payments with Building & Utility Billing Departments; a true-up payment may be required. 100% of the water/sewer impact fees shall be paid prior to site or building permit issuance or execution of FDEP permit applications by the City.

According to the plans there will be (2) 2" potable meters, and (1) 2" irrigation meter. 2" irrigation meter called out in previous response and in lieu of a 1.5" meter.

Based on the above, the utility impact fees are as follows:

2" Potable water meter	2 ea. @ \$8,688.00	=	\$17,376.00
Wastewater for 2" meter	2 ea. @ \$14,136.00	=	\$28,272.00
2" Irrigation meter	1 ea. @ \$8,688.00	=	\$8,688.00
	TOTAL	=	\$54,336.00

(does not include connection/installation fee; check with Utility Billing to verify any existing credits; fees subject to change after April 1, 2026.)

- 7. Permit modification from SJRWMD is acknowledged. Permits or exemption from FDEP shall be provided as well as NPDES NOI as may be appropriate. Drainage shall comply with the overall development design.
- 8. Fire sprinkler systems will be required on all buildings over 6,000 s.f. with Point of Service (POS), backflow prevention, etc. shown. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor. Review and approval by Fire Department required.
- 9. All dumpsters shall be enclosed and shall provide 12' minimum inside clearance (each way inside of bollards or gate hardware), and access by solid waste vehicles. Coordinate additional requirements with Public Services Department, Solid Waste Division.
- 10. Any signs, screen walls or retaining walls shall require a separate permit from the Building Department.
- 11. All underdrain pipe, if used, shall be double wall HDPE pipe or PVC pipe.
- 12. Site lighting will be required as well as street lighting on all street frontages if not existing; all lighting shall meet dark skies requirements per City Code. A photometric plan has been submitted for Planning Department review.
- 13. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to City Code. Existing sidewalks, curbs, & pavement will be checked at completion and any damaged sections shall be replaced.
- 14. Internal sidewalks shall connect to the public sidewalks in the right-of-way per ADA.
- 15. A traffic impact analysis has been submitted for review by the Planning Department and Transportation consultant.

PLANNING COMMENTS

- 16. Note: Signs are permitted separately. All signs must follow Chapter 102. – Signs, of City Code.

STANDARD GENERAL CONDITIONS

17. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
18. All work shall conform to City of Winter Garden standards and specifications.
19. Fencing, shall meet all City requirements for height, type, etc. Chain link fencing, if used, shall be vinyl coated per Code.
20. 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to City Code.
21. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
22. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
23. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.
24. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of **2.25%** of the cost of all site improvements shall be paid prior to issuance of the building permit.
25. Additional comments will be generated at subsequent reviews.

Please review this information and contact our office if you have any questions. Thank you.

END OF MEMORANDUM

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Jim Monahan, P.E., City Engineer – Public Services

Via: Jon C Williams, City Manager

Date: March 27, 2026

Meeting Date: April 9, 2026

Subject: Approve a Purchase Order for Percolation Pond Repair

Issue: The Percolation Ponds are designed to dispose of wet weather reclaimed water through absorption through the ground and then collected through a series of perforated pipes or underdrains. These underdrains lead to a large collection pipe that then discharges to Lake Apopka. The large collection pipe has developed a sizeable hole and must be completely rerouted in order to prevent any damage to other infrastructure.

Recommended Action:

Recommend issuing a Purchase Order to TD Thomson Construction, Inc. in the amount of \$203,712.19 which includes a 10% contingency.

Attachments:

- TD Thomson Construction Estimate 100-281

Remitt To
 PO BOx 1239
 Sorrento FL 32776

Date	Estimate #
3/25/2026	100-281

Name / Address
 City of Winter Garden
 Att: Jim Monahan
 300 W. Plant Street
 Winter Garden FL 34787

Project

Perk Ponds - 2026

Description	Qty	Unit	Rate	Total
MOBILIZATION	1	LS	5,500.00	5,500.00
TIE INTO EXISTING MANHOLE / BOOTS	2	EA	4,800.00	9,600.00
DEWATERING BY WELL POINT	700	LF	26.00	18,200.00
18" SDR 26 GREEN 17' DEEP	620	LF	135.20	83,824.00
TYPE J MANHOLES 5'	2	EA	7,600.00	15,200.00
TRENCH BOX 3 WEEKS	1	LS	9,500.00	9,500.00
SECURE EXISTING 8" PIPE	1	LS	1,200.00	1,200.00
BRICK AND CEMENT EXISTING 18"	2	EA	375.00	750.00
PLUG EXISTING PIPE FOR TIE IN AND PUMP AROUND 18" AND 8"	1	LS	8,000.00	8,000.00
REPAIR EXISTING ROAD WITH ASPHALT MILLINGS	2	IDS	900.00	1,800.00
PRIVATE LOCATES	1	LS	1,900.00	1,900.00
CLEAN UP AND SPREAD DOT SEED	1	LS	3,400.00	3,400.00
RECLAIM				
TIE INN	2	EA	1,500.00	3,000.00
16" PVC DR18	80	LF	83.24	6,659.20
16" RESTRAINTS	6	EA	748.00	4,488.00
16" SLEEVES	2	EA	1,695.85	3,391.70
8" BELL RESTRAINTS	4	EA	295.00	1,180.00
16" 45	4	EA	1,900.00	7,600.00
ONLY ABOVE INCLUDED				

tdthomson92@gmail.com

407-654-8388

Total

\$185,192.90

This quote is based on the availability of materials.
 This quote is good for 30 days.

THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Jim Monahan, P.E., City Engineer – Public Services

Via: Jon C Williams, City Manager

Date: March 26, 2026

Meeting Date: April 9, 2026

Subject: Approve a Purchase Order for Additional Parking on W Plant Street

Issue: Parking in downtown Winter Garden is always at a premium and staff continue to look for solutions. An area along the Oval on W Plant Street has been identified where 20 new angled parking spaces can be added. The City received 2 estimates for the construction and has selected the lowest, responsible and responsive contractor.

Recommended Action:

Recommend issuing a Purchase Order to TD Thomson Construction, Inc. in the amount of \$131,831.33

Attachments:

- TD Thomson Construction Estimate 100-280
- Parking Layout Exhibit

Estimate

Remitt To
 PO BOX 1239
 Sorrento FL 32776

Date	Estimate #
2/25/2026	100-280

Name / Address
 City of Winter Garden
 ATT: Jim Monahan
 300 W. Plant Street
 Winter Garden Fl 34787

Project
 W. Plant St Public Parking Lot Feb 26

Description	Qty	Unit	Rate	Total
MOBILIZATION	1	LS	2,000.00	2,000.00
MOT	1	LS	1,500.00	1,500.00
SURVEYING	1	LS	1,750.00	1,750.00
HAUL OUT UNSUITABLE FILL	270	CY	17.50	4,725.00
8" CONCRETE FINES	652	SY	29.95	19,527.40
ADJUST VALVES TOPS	3	EA	175.00	525.00
DEMO CURB INLET	1	LS	3,500.00	3,500.00
NEW INLET TOP	1	EA	2,800.00	2,800.00
6' THICKEN EDGE SIDEWALK	1,686	SF	14.45	24,362.70
6X16 VERTICAL CURB	180	LF	32.00	5,760.00
INSTALL ADA MATTS	5	EA	787.50	3,937.50
ADA RAMPS	5	EA	1,500.00	7,500.00
INSTALL MIAMI CURB	45	LF	43.05	1,937.25
6' SIDEWALK 4"	1,080	SF	8.90	9,612.00
PAVING 9.5 SP 1 1/2"	652	SY	40.49	26,399.48
STRIPING	1	LS	5,400.00	5,400.00
GRADING	10,500	SF	0.75	7,875.00
INSTALL SOD (BAHIA)	3,200	SF	0.85	2,720.00

NOTES*
 HAUL EXCESS FILL TO PERC PONDS
 ONLY ABOVE INCLUDED

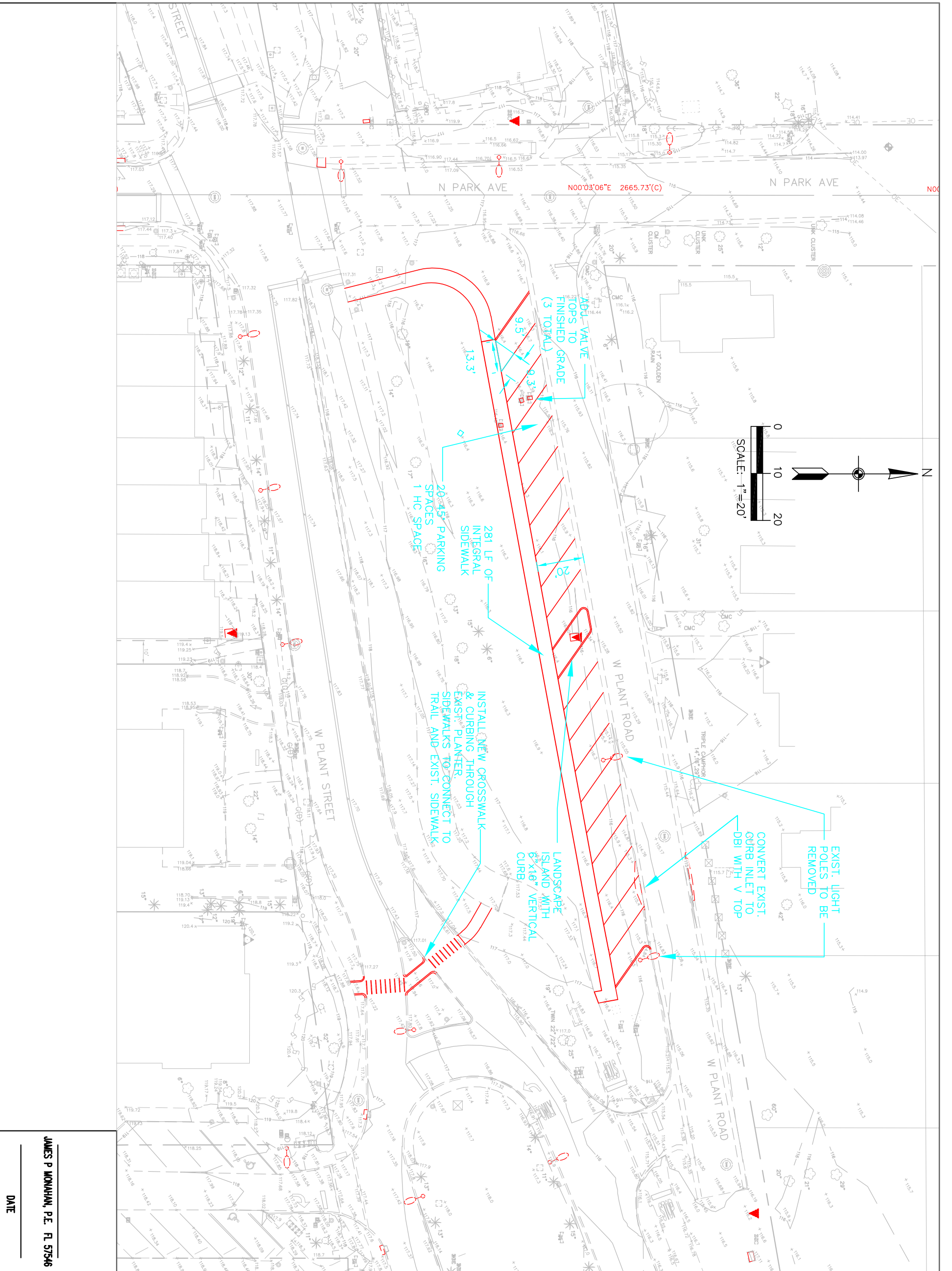
tdthomson92@gmail.com

407-654-8388

Total

\$131,831.33

This quote is based on the availability of materials.
 This quote is good for 30 days.



JAMES P MONAHAN, P.E. FL 57546
 DATE

DATE	FEB 27, 2026
SCALE	1"=20'
DRAWN BY	JPM
CHECKED BY	JPM
SHEET	1 OF 1

W PLANT STREET PARKING ADDITION



THE CITY OF WINTER GARDEN
CITY COMMISSION AGENDA ITEM

From: Kelly Carson, Planning Director

Via: City Manager, Jon C. Williams

Date: April 1, 2026 **Meeting Date:** April 9, 2026

Subject: **Winter Garden Police Athletic League – Donut Dash 5k**

Issue: The Winter Garden Police Athletic League is planning a 5K run (Donut Dash), starting and ending in Newton Park on November 7, 2026.

Discussion:

The Winter Garden Police Athletic League has submitted an application to hold their annual Donut Dash 5K run starting and ending in Newton Park on Saturday, November 7, 2026 from 7:00 – 11:00 AM. The route will proceed in a loop along segments of nearby streets including Crest Ave, the West Orange Trail, Tilden Street, Boyd Street, and West Garden Ave. The event will include six vendors and light breakfast will be served. There will be three donut and water stations set up along the 5k route. There will be a partial street blockage at the start/stop cul-de-sac and eastbound on Crest Ave from the water treatment plant to Lulu Creek.

Recommended Action:

Staff recommends approval of the special event.

Attachment(s)/References:

Permit Application with Race Route Map

Event Date: 11/07/2026

Planning & Zoning



FEB 04 2026

Received by: CEF
Project #:

CITY OF WINTER GARDEN
Community Development
300 West Plant Street
WINTER GARDEN, FL 34787

P2E2026-0028

(407) 656-4111
WWW.WINTERGARDEN-FL.GOV

SPECIAL EVENT APPLICATION

Public Property

OFFICIAL USE ONLY

DATE RECEIVED: _____
PERMIT FEE PD. ON: _____ INIT. _____

PER CITY CODE 27.1.3 "SPECIAL EVENTS" ARE DEFINED AS ANY PUBLIC ASSEMBLY OF 100 OR MORE PEOPLE IN ANY PARK, SIDEWALK, ALLEY, LAKE OR OTHER PUBLICALLY OWNED AREA. COMPLETED APPLICATIONS SHOULD BE SUBMITTED NO LESS THAN 30 DAYS PRIOR TO THE FIRST DATE OF THE PROPOSED EVENT. EVENTS THAT REQUIRE CLOSURE OF ANY CITY STREET OR ARE ANTICIPATED HAVING MORE THAN 500 PEOPLE IN ATTENDANCE WILL REQUIRE APPROVAL OF THE CITY COMMISSION.

SPECIAL EVENTS ON CITY PROPERTY WHERE 500 OR MORE PEOPLE ARE REASONABLY ANTICIPATED TO BE IN ATTENDANCE OR WHERE THERE ARE REQUESTS FOR STREET CLOSURES WILL REQUIRE PRIOR APPROVAL BY THE CITY COMMISSION, AT LEAST FOUR WEEKS PRIOR TO THE SCHEDULED EVENT. THE APPLICANT MUST COMPLETE ALL OF THE FOLLOWING INFORMATION.

DATE OF APPLICATION: 02/04/2026
ORGANIZATION/GROUP: Winter Garden Police Athletic League NON-PROFIT CORP INDIV.
NAME OF EVENT: Donut Dash 5K
CONTACT/REPRESENTATIVE: Gail Michaud Johnson PHONE # 407-656-3636 Ext.4405
ALT. PHONE #: 407-637-0033 EMAIL: gmichaud@wgpd.com
EVENT LOCATION: Newton Park (Surprise Dr / Garden Ave cul-de-sac) 31 W. Garden Ave PROPOSED DATES: 11/07/2026
HOURS: 0700-1100 ESTIMATED DAILY ATTENDANCE: 400
DATES & TIMES OF EVENT SETUP & BREAKDOWN:
SET UP: 0500 BREAKDOWN: 1100

PLEASE CHECK ALL OF THE FOLLOWING THAT APPLY:

TYPE OF EVENT

- FESTIVAL
- EXHIBIT(S)
- CARNIVAL/CIRCUS/FAIR
- GENERAL MEETING
- PARADE
- BLOCK PARTY OR PICNIC
- SPORTING EVENT/COMPETITION
- WEDDING/RECEPTION
- REVIVAL
- OTHER (EXPLAIN)

EVENT DETAILS

- ADMISSION CHARGE/TICKET SALES
- ALCOHOL SERVED
- ALCOHOL SALES
- FIREWORKS/PYROTECHNICS
- FOOD TRUCKS
- MERCH. VENDORS # OF: 6
- OPEN TO PUBLIC
- STREET/SIDEWALK CLOSURE
HOURS OF: Minimal
- CITY WATER USED
- EVENT HELP PREVIOUSLY
- CITY ELECTRIC USED

EQUIPMENT AT EVENT

- AMPLIFIED SPEAKING/MUSIC
HOURS OF: 0700-1030
- PORTABLE RESTROOMS
- SPORTS EQUIPMENT
- STAGE/PROPS/PRODUCTION
- TENTS # & SIZE OF: (8) 10x10
- TEMPORARY EVENT SIGNAGE
- DUMPSTERS/RECEPTACLES
- COOKING EQUIPMENT USED
- GAS OPEN FLAME
- OTHER (EXPLAIN):

Event Date: 11/07/26

Planning & Zoning



FEB 04 2026

Received by: CEF
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CITY OF WINTER GARDEN
Community Development
300 West Plant Street
WINTER GARDEN, FL 34787

(407) 656-4111
WWW.WINTERGARDEN-FL.GOV

PZE2026-0028

SPECIAL EVENTS

PLEASE PROVIDE A GENERAL DESCRIPTION OF THE EVENT THAT INCLUDES ALL FEATURES BEING PROPOSED TO TAKE PLACE. ELABORATE ON ANY 7 OF THE ABOVE CHECKED ITEMS, IF NECESSARY: (USE BACK IF NEEDED)

Location: Newton Park (Garden Ave/ Surprise Dr. cul-de-sac)
0630-0745 Packet-pick up, light breakfast items available for runners
0800 walk/run begins (route provided) 3 donut and water stations along the route
Vender's Sponsors will be in the cul-de-sac along with the start/finish line
1030 Awards
1100 Wind down/begin breakdown/ clean-up
Partial Street blockage at the start/stop cul-de-sac and Eastbound on Crest Ave (from the water teatment plant to Lulu Creek)

NO APPLICATION WILL BE ACCEPTED UNLESS THE FOLLOWING ITEMS ARE INCLUDED.

(APPROVAL PROCESS WILL NOT BEGIN UNTIL THE FOLLOWING IS SUBMITTED):

- COPY OF 501C-3 FORM SIGNIFYING NON-PROFIT STATUS (IF APPLICABLE)
- SITE PLAN INDICATING ALL AFFECTED AREAS, STREETS PROPOSING TO BE CLOSED, TEMPORARY POWER SOURCES TO BE INSTALLED, PORTABLE RESTROOM LOCATIONS, VENDOR PLACEMENT, PARADE ROUTE OR ANY OTHER SIGNIFICANT FEATURES.
- COPY OF APPLICANT'S INSURANCE CERTIFICATE NAMING THE CITY OF WINTER GARDEN AS ADDITIONALLY INSURED.
- IF ATTENDANCE IS REASONABLY ANTICIPATED TO BE GREATER THAN 100 PEOPLE, YOU SHOULD ALSO INCLUDE A PLAN FOR :
 - SANITATION – RESTROOM, PORT-O-LET PLACEMENT, POTABLE WATER, TRASH RECEPTACLES & COLLECTION PLAN, ETC.
 - PARKING AND TRAFFIC – REROUTING TRAFFIC AROUND BLOCKED STREETS, PARKING FOR EVENT PATRONS, ETC.
 - MEDICAL CARE – FIRST AID STATIONS, EMS SERVICES, AMBULANCE ON SITE, ETC.
 - SECURITY – OFF-DUTY OFFICERS SCHEDULES, SECURITY SERVICE UTILIZED, # OF EVENT STAFF IN ATTENDANCE, ETC.
- IF YOU WANT TO HAVE ANY SIGNAGE, PLEASE PROVIDE A SITE PLAN SHOWING WHERE SIGNS ARE PROPOSED (THE CITY PROHIBITS SNIPE SIGNS).

FOR OFFICIAL USE ONLY			
TECHNICIAN INITIAL: _____	DATE RECEIVED: _____	<input type="checkbox"/> FEE PAID	
CITY MANAGER/DESIGNEE: _____	DATE: _____	APPROVED: <input type="checkbox"/> YES / <input type="checkbox"/> NO	
CONDITIONS:			

Event Date: 11/07/26.



Planning & Zoning

FEB 04 2026

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SPECIAL EVENTS POLICIES AND PROCEDURES

FOOD VENDING

THE DEPT. OF BUSINESS AND PROFESSIONAL REGULATION OF THE STATE OF FLORIDA REQUIRES THAT YOU NOTIFY THEIR DIVISION OF HOTELS AND RESTAURANTS NO LATER THAN THREE DAYS PRIOR TO ANY TEMPORARY EVENT WHERE FOOD WILL BE SOLD. ALL FOOD VENDORS MUST MEET MINIMUM SAFETY AND SANITATION REQUIREMENTS AND PAY A TEMPORARY EVENT LICENSING FEE IF THEY DO NOT ALREADY HOLD AN ANNUAL LICENSE WITH THE STATE OF FLORIDA. THE DIVISION OF HOTELS AND RESTAURANTS CAN BE REACHED AT 850-487-1395 OR VISIT http://www.myfloridalicense.com/dbpr/hr/licensing/GT_tempevents.html FOR MORE INFORMATION.

EVENT INSURANCE

LIMITS WILL IN MOST INSTANCES BE REQUIRED IN THE FOLLOWING AMOUNTS:

GENERAL AGGREGATE \$1,000,000 PRODUCTS AGGREGATE \$1,000,000
PERSONAL & ADVERTISING INJURY \$250,000 EACH OCCURRENCE \$250,000
FIRE LEGAL LIABILITY \$50,000 MEDICAL PAYMENTS \$2,000

CITY STAFF RESERVES THE RIGHT TO REQUEST INCREASED LIMITS DEEMED NECESSARY FOR CERTAIN HIGH-RISK ACTIVITIES. INDIVIDUALS, GROUPS WITHOUT INSURANCE, OR GROUPS THAT DO NOT PRODUCE AN APPROPRIATE CERTIFICATE OF INSURANCE TWO WEEKS PRIOR TO THE EVENT DATE WILL BE REQUIRED TO PURCHASE INDIVIDUAL EVENT POLICIES THROUGH THE CITY INSURANCE CARRIER AT LIMITS DEEMED NECESSARY BY CITY STAFF. PRICES FOR APPROPRIATE POLICIES ARE ESTABLISHED BY THE INSURANCE BROKER AND ARE NON-NEGOTIABLE. IF PROPER INSURANCE IS NOT OBTAINED OR PAID FOR AT LEAST TWO WEEKS PRIOR TO THE SCHEDULED EVENT, THE CITY RESERVES THE RIGHT TO CANCEL THE EVENT REQUEST.

PERMIT FEES

EVENTS WITH LESS THAN 25 IN ATTENDANCE: \$25.00
EVENTS WITH 25 - 200 PEOPLE IN ATTENDANCE: \$150.00
EVENTS WITH OVER 200 PEOPLE IN ATTENDANCE: \$1,000.00

FEES

OTHER FEES WILL BE ASSESSED IF DEEMED NECESSARY BY CERTAIN APPLICABLE DEPARTMENTS. ALTHOUGH NOT AN EXHAUSTIVE LIST, FEES MAY BE ASSESSED FOR POLICE OFFICERS, POLICE SUPERVISORS, FIRE PROTECTION, EMT PERSONNEL, STREET BARRICADING, ELECTRIC USAGE, NECESSARY MAINTENANCE STAFF, TRASH RECEPTACLES & COLLECTION, OTHER NECESSARY STAFF ON-SITE DURING EVENT HOURS, ETC. BONDS OF UP TO \$5,000,000 MAY BE REQUIRED AT THE DISCRETION OF CITY STAFF FOR EVENTS WITH ATTENDANCE OVER 500 PEOPLE AND EVENTS HOSTING CERTAIN HIGH-RISK ACTIVITIES. ALL FEES MUST BE PAID IN FULL IN CASH, CERTIFIED CHECK OR MONEY ORDER AT LEAST TWO WEEKS PRIOR TO THE EVENT DATE TO AVOID CANCELLATION.

MISCELLANEOUS POLICIES

- BOUNCE HOUSES, INFLATABLES, AND ANY TYPE OF RIDES ARE NOT ALLOWED ON CITY PROPERTY.
- EVENT ADVERTISING WILL NOT INCLUDE ANY REFERENCE OF ENDORSEMENT BY THE CITY OF WINTER GARDEN.
- TEMPORARY EVENT SIGNAGE MUST MEET CITY CODE REQUIREMENTS. CONTACT W.G. CODE ENFORCEMENT FOR INFO.
- THERE ARE OTHER SPECIAL REQUIREMENTS FOR MOTION PHOTOGRAPHY PRODUCTION.
- THERE ARE SPECIAL REQUIREMENTS FOR FIREWORKS.
- ANY EVENT UTILIZING PLANT ST. AND EFFECTIVELY CLOSING THE WEST ORANGE TRAIL MUST NOTIFY ORANGE COUNTY PARKS AND RECREATION AT 407-654-1108.
- IF ANY PORTION OF A STATE ROAD IS TO BE CLOSED, A STATE D.O.T. REQUEST FORM MUST BE OBTAINED FROM THE WINTER GARDEN POLICE DEPT., COMPLETED AND RETURNED TO THE WGPD TO BE FILED WITH THE STATE OF FLORIDA. SUCH REQUESTS SHOULD BE SUBMITTED AT LEAST SIX WEEKS PRIOR TO THE EVENT DATE.
- MAY BE REQUIRED TO MEET WITH CITY TO PRESENT DETAILS OF EVENT.

APPROVAL PROCESS

COMMUNITY DEVELOPMENT, ECONOMIC DEVELOPMENT, CITY MANAGER AND PARKS & RECREATION DEPARTMENTS WILL REVIEW ALL REQUESTS AND FORWARD TO ADDITIONAL DEPARTMENTS AS NEEDED. YOU MAY BE CONTACTED TO PROVIDE FURTHER INFORMATION. YOU WILL BE NOTIFIED OF INITIAL APPROVAL, ADDITIONAL FEE REQUIREMENTS AND IF FURTHER COMMISSION APPROVAL WILL BE REQUIRED IN 2 TO 4 WEEKS. CONDITIONS OF APPROVAL DOCUMENT MAY BE INCLUDED AS PART OF FINAL APPROVAL.

REVISED 02/23/2016

Donut Dash 5K 2026 Race Route

 Water and Donut Stations

Registration: 1 Surprise Dr. Winter Garden, FL 34787

Parking: 31 W. Garden Ave. Winter Garden, FL 3478

