



For More Information, Contact:
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Winter Garden, FL 34787
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crivera@cwgd.com

Planning and Zoning Board Agenda

Board Members: Chairman Will Hawthorne, Vice-Chairman Steve Ambielli, Linda Bennett, Myron Brown, Jimmy Dunn, Jeff Ewing and TJ Ryan.

Other Attendees: City Manager Jon C. Williams, City Attorney Kurt Ardaman, City Attorney Dan Langley, Planning Consultant Ed Williams, Planning Director Kelly Carson, Planning Supervisor Shane Friedman, Senior Planner Yvonne Conatser, Planner II Amber McDonald and Recording Secretary Colene Rivera/Ellen King.

Agenda for February 2, 2026 at 6:30 PM City Hall Commission Chambers 300 W. Plant Street, Winter Garden, Florida

1. Call to Order

Determination of Quorum, Moment of Silence and Pledge of Allegiance

2. Approval of Minutes

A. Minutes of January 5, 2026 Meeting

3. Special Exception Permit (Public Hearing)

A. 1220 Winter Garden Vineland Road, Suite 100 – (Bright Abilities Academy)
SPECIAL EXCEPTION
Parcel ID # 26-22-27-3981-00-010

4. Site Plan

A. 1211 Winter Garden Vineland Road - (Resurrection Catholic Church Renovations)
SITE PLAN (PARKING AREA)
Parcel ID # 12-22-27-6496-29-010

5. Adjourn

Next regular Planning and Zoning Board meeting on Monday, March 2, 2026 at 6:30 p.m.
in City Hall Commission Chambers, 300 W. Plant Street, Winter Garden, Florida

Posted: January 21, 2026

Please Note: In accordance with Florida Statutes 286.0105: Any person who desires to appeal any decision at this meeting will need a record of the proceedings and for this purpose may need to ensure that a verbatim record of the proceedings is made which includes the testimony and evidence upon which the appeal is based, which such written record is not provided by the City of Winter Garden.

Please Note: In accordance with Florida Statute 286.26: Persons with disabilities needing assistance to participate in any of these proceedings should contact Ellen King, 300 West Plant Street, Winter Garden, FL 34787, (407) 656-4111 EXT.5149- 48 hours in advance of the meeting.



DRAFT

**Planning and Zoning Board
Regular Meeting Minutes
January 5, 2026**

1. CALL TO ORDER

Chairman Will Hawthorne called the meeting of the City of Winter Garden Planning and Zoning Board to order at 6:31 p.m. in the City Hall Commission Chambers. A moment of silence was followed by the Pledge of Allegiance. Quorum was declared present.

Present: Chairman Will Hawthorne, Co-Chairman Steve Ambielli and Board Members: Linda Bennett, Jimmy Dunn, Jeff Ewing and TJ Ryan.

Absent: Board Member: Myron Brown (excused)

Staff Present: City Attorney Kurt Ardaman, Planning Director Kelly Carson, Planning Supervisor Shane Friedman, Senior Planner Yvonne Conatser, Planner II Amber McDonald and Recording Secretary Ellen King.

Attendees: Nicholas Burden of Legacy Homes

2. APPROVAL OF MINUTES

Motion by Board Member Bennett to approve the regular meeting minutes of December 1, 2025. Seconded by Board Member Ewing and carried unanimously 6 – 0.

3. VARIANCE (PUBLIC HEARING)

3.A. 1600 Daniels Road (Center for Digestive Health) - VARIANCE
Parcel ID #26-22-27-1989-03-000

Planning Supervisor Friedman presented a Variance request for the property located at 1600 Daniel Road to allow a 12 foot front yard setback, and a 21.81 foot corner yard setback to construct a two-story medical office building. Staff recommends approval subject to staff conditions.

Board members inquired if the building would be aligned with the other buildings directly to the south? City staff confirmed.

The General Public did not have any comments or questions about this item.

Motion by Board Member Dunn to approve the Variance at the location of 1600 Daniels Road subject to staff conditions. Seconded by Board Member Bennett and carried unanimously 6 – 0.

3.B. 34 W Story Road (Legacy Homes Headquarters) - VARIANCE
Parcel ID #23-22-27-3992-00-140

Planning Supervisor Friedman presented a Variance request for the property located at 34 W Story Road to allow a side yard setback of 8-feet to build a covered patio. Staff recommends approval subject to staff conditions.

Board members asked for confirmation that since the setback already existed was this for the extension of the roof line? City staff confirmed stating the entire building will be renovated with a new roof.

The General Public did not have any comments or questions about this item.

Motion by Board Member Hawthorne to approve the Variance at the location of 34 W Story Road subject to staff conditions. Seconded by Board Member Ewing and carried unanimously 6 – 0.

Chairman Will Hawthorne adjourned the meeting at 6:37 pm. Adjourned to the regular Planning and Zoning Board meeting on Monday, February 2, 2026 at 6:30 p.m. in City Hall Commission Chambers, 300 W. Plant Street, Winter Garden, Florida.

ATTEST:

APPROVED:

Recording Secretary Ellen King

Chairman Will Hawthorne

**THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM # 3.A**

Date: January 29, 2026 **Meeting Date:** February 2, 2026
Subject: 1220 Winter Garden Vineland Road, Suite 100 (Special Exception Permit)
Project Name: Bright Abilities Academy Inc.
Parcel ID: 26-22-27-9381-00-010

Issue: The applicant is requesting a Special Exception Permit for the property located at 1220 Winter Garden Vineland Road, Suite 100.

Supplemental Material / Analysis:

Owner / Applicant: WMGS Vineland Owner SB LLC/ Bright Abilities Academy Inc.
Current Zoning: PCD (Planned Commercial Development) (Ordinance 04-22, Winter Garden Business Park)
Proposed Zoning: N/A
Current FLU: COM (Commercial)
Proposed FLU: N/A

Summary: The applicant has requested a Special Exception Permit to allow a school on the property.

Staff Recommendation(s):

Staff recommends approval of the Special Exception Permit subject to the conditions of the staff report.

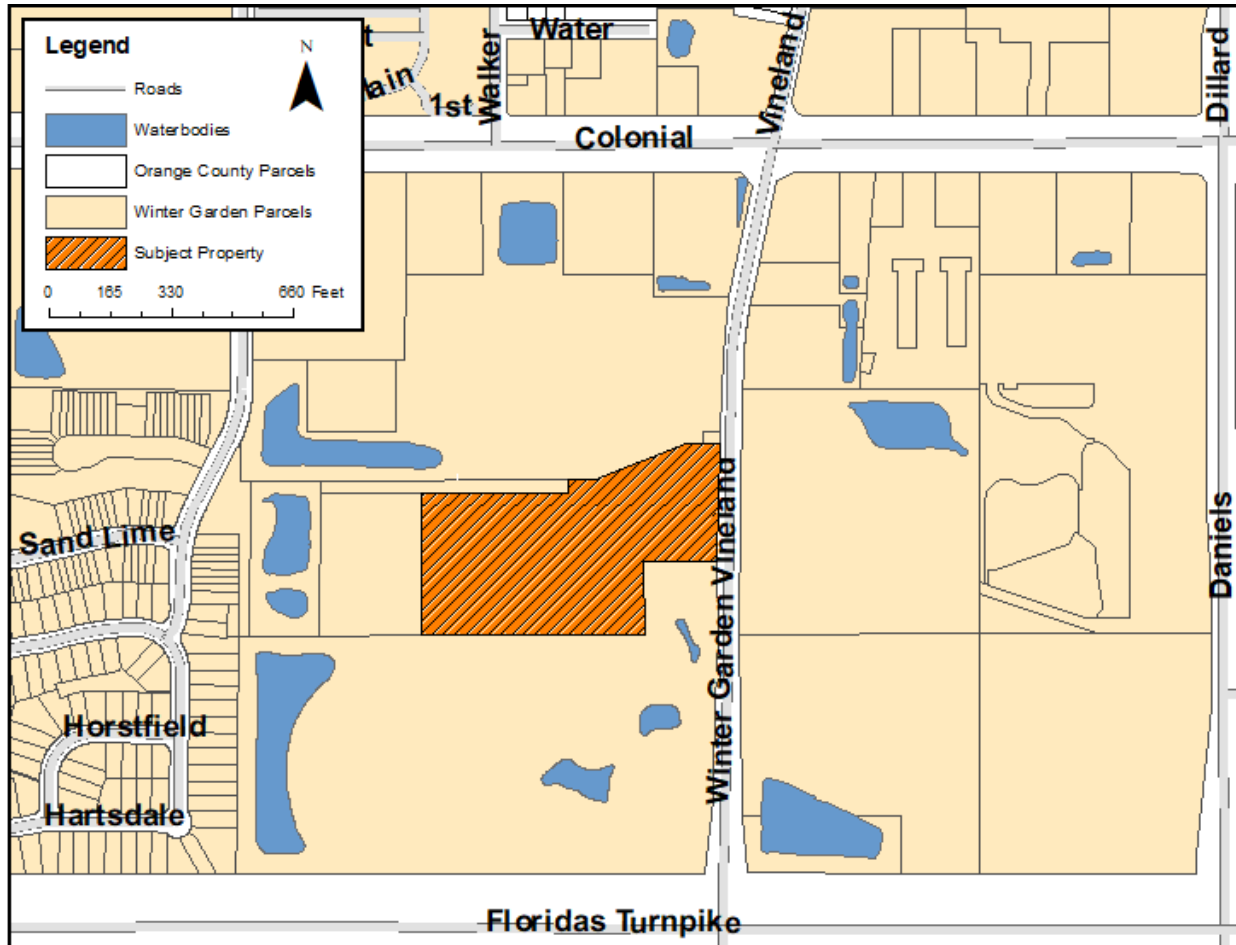
Next Step(s): Apply for any required building permits – for build out of the space. Apply for all required business license(s).

Attachment(s): Staff Report
Location Map

LOCATION MAP

1220 Winter Garden Vineland Road

Special Exception Permit



CITY OF WINTER GARDEN

PLANNING & ZONING DIVISION

300 West Plant Street - Winter Garden, Florida 34787-3011 • (407) 656-4111

STAFF REPORT

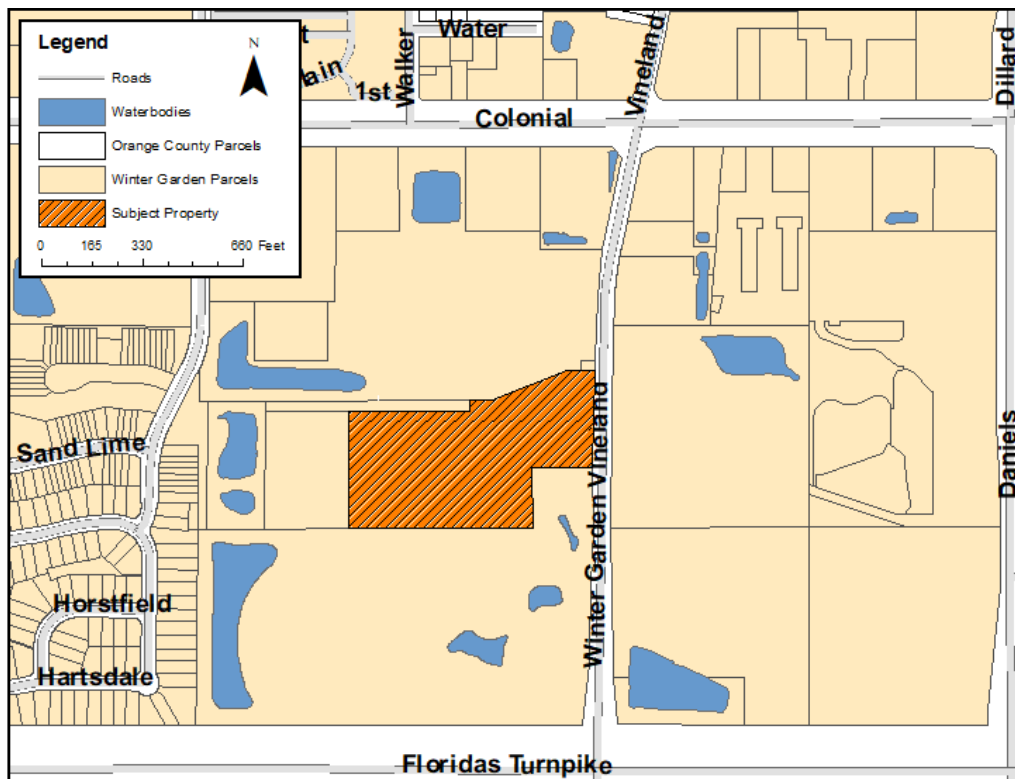
TO: PLANNING AND ZONING BOARD
PREPARED BY: YVONNE CONATSER, SENIOR PLANNER
DATE: JANUARY 29, 2026
SUBJECT: SPECIAL EXCEPTION PERMIT
1220 Winter Garden Vineland Road, Suite 100 (7.01 +/- acres)
PARCEL ID #26-22-27-9381-00-010

APPLICANT: Bright Abilities Academy Inc.

INTRODUCTION

The purpose of this report is to evaluate the request for a Special Exception Permit for a school for children with special needs compliance with the City of Winter Garden Code of Ordinances and Comprehensive Plan.

The subject property is located at 1220 Winter Garden Vineland Road. It is approximately 7.01 ± acres. The subject property is zoned PCD (Planned Commercial Development) per Ordinance 04-22 – Winter Garden Business Park and designated COM (Commercial) on the City’s Future Land Use Map. The map below depicts the location of the property within the City of Winter Garden municipal limits:



EXISTING USE

The property is developed as the Winter Garden Business Park with eight freestanding buildings with a total of +/- 94,877 square feet of retail, office and business space and accompanying parking. The applicant would like to occupy one 2,400 square foot suite in Building 2 of the Winter Garden Business Park complex.

ADJACENT LAND USE AND ZONING

The property to the north is zoned C-2 (Arterial Commercial District) and developed with the West Point Commons (Publix) shopping center. The property to the east is zoned C-2 and developed with the Resurrection Catholic Church. Both properties are designated COM on the City's Future Land Use Map. The property to the south is zoned R-3 (Multifamily Residential District), designated MR (Medium Density Residential) and developed with the Promenade apartment complex. The property to the west is zoned PCD, designated COM and developed with a storage facility.

PROPOSED USE

The applicant is requesting a special exception permit for a school for children with special needs to occupy one suite for a total of 2,400 square feet in the Winter Garden Business Park.

The Bright Abilities Academy is a private school for children with developmental disabilities. The school program is for kindergarten through fifth grade with a 36 student capacity and a total of six (6) employees. The school will operate Monday through Friday from 8:30 AM to 2:50 PM.

In addition, the applicant will offer an after-school tutoring program that will operate Monday through Friday from 3:00 PM to 6:00 PM. It should be noted that the tutoring program is permitted by-right per Ordinance 04-22.

ANALYSIS

The school requires a Special Exception Permit per the PCD Ordinance 04-22 Section II (2) Uses b. The Winter Garden Business Park was designed for a variety of businesses and services. The ordinance lays out the specific uses allowed within each building and those uses that require a special exception permit within said building.

As with other private schools in the City, the main concern is parking capacity during the drop-off and pick-up period.

Per the applicant's narrative the drop off times will be staggered. There are three designated parking spaces for the suite to serve as the pick up and drop off area and an additional ten shared parking spaces directly adjacent to the suite. The applicant has devised a circulation plan to assist with the drop off and pick up of the students.

The drop-off and pick-up of students is typically a limited time process allowing relative vacancy of any parking space used on the property. The staggered drop off times and circulation plan should assist to mitigate any parking impacts from the school. This plan will be distributed to student parents and guardians to assure student safety and prevent parking issues within the Winter Garden Business Park.

SUMMARY

City Staff recommends approval of the proposed Special Exception Permit to allow a 36 student school for children with special needs at 1220 Winter Garden Vineland Road, Suite 100 of the Winter Garden Business Park subject to the following conditions:

- 1) The school is a kindergarten to fifth grade program with a maximum number of 36 students. Any increase in grades and students will require a new special exception permit approval.
- 2) All students must be dropped off and picked up from a parking space in the Winter Garden Business Park. No parking or waiting in the travel lanes is permitted.
- 3) All parents shall be given the circulation plan as put forth with this application and listed as Exhibit A. The circulation plan shall be given at the time of student registration. The applicant will monitor the drop off and pick up of students to help mitigate any parking issues that may arise concerning the surrounding businesses by directing parents to open parking spaces either in front of the property or adjacent to the building when necessary.

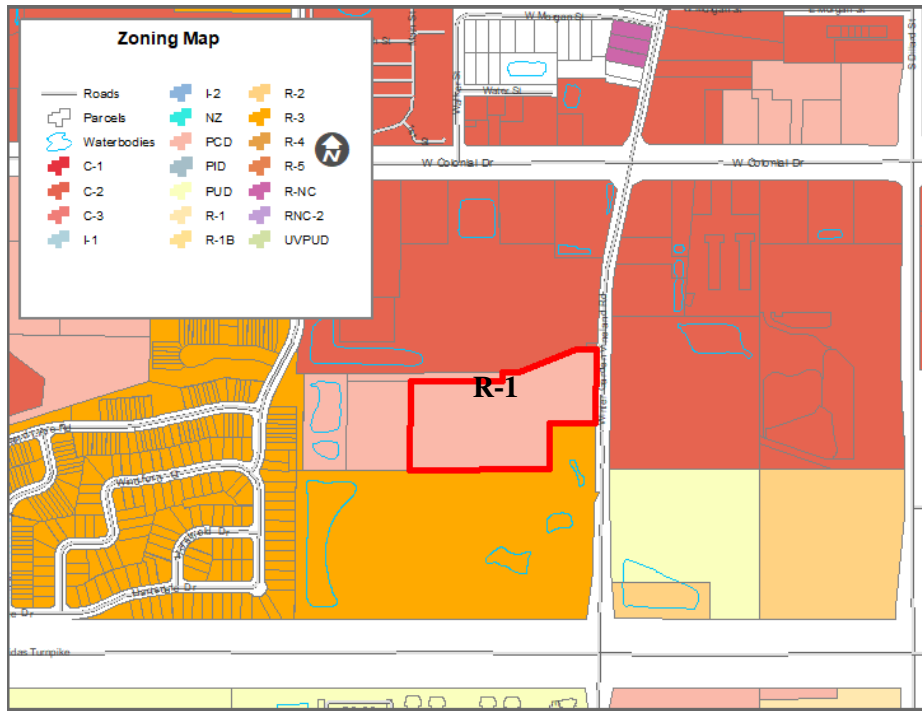
ATTACHMENTS

- Aerial Map
- Zoning Map
- Future Land Use Map
- Circulation Plan (Exhibit A)
- Applicant Narrative
- Site Photos

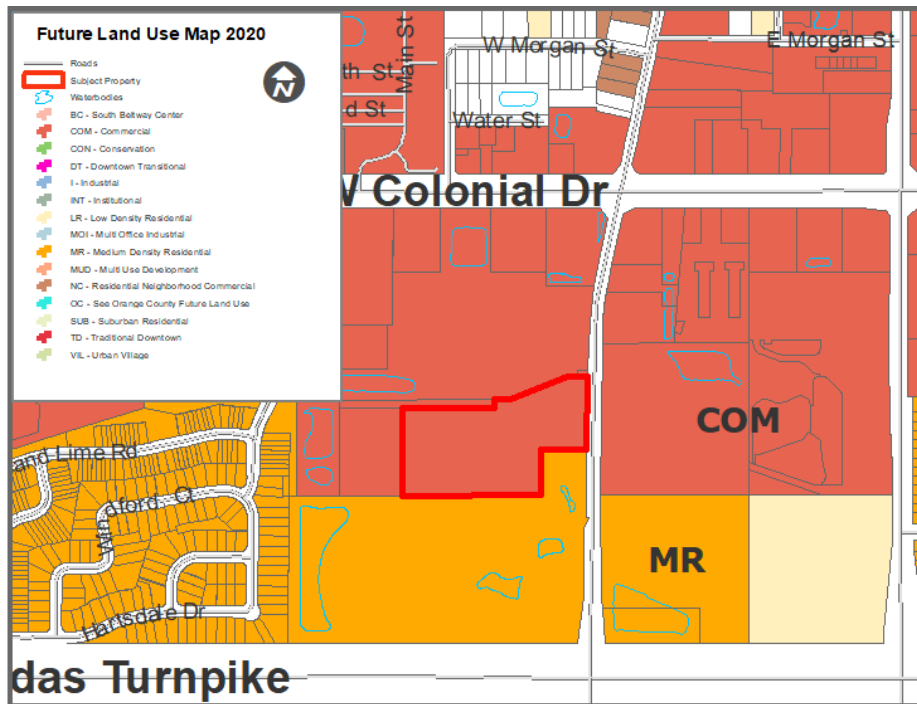
AERIAL MAP
1220 Winter Garden Vineland Road, Suite 100



ZONING MAP
 1220 Winter Garden Vineland Road



FUTURE LAND USE MAP
 1220 Winter Garden Vineland Road



Applicant Narrative

SPECIAL EXCEPTION NARRATIVE

Bright Abilities Academy

Bright Abilities Academy gratefully submits this request for a Special Exception Permit to the City of Winter Garden Planning & Zoning Board. Our goal is to serve and uplift the community by offering specialized, high-quality educational services, resources, and support to families facing the unique challenges of raising children with disabilities. We are committed to building a learning environment that benefits not only our students but the broader community – making a generational impact.

There is a significant lack of programs in the area that provide dedicated, individualized care for children with a range of developmental needs. Bright Abilities Academy pledges to deliver excellence in special-needs education through rigorous academic programming, personalized instruction, and a nurturing, sensory-aware atmosphere tailored to each child's developmental, behavioral, and emotional profile.

HOURS OF OPERATION

Regular School Program Elementary School

- Monday – Friday: 8:30 AM to 2:50 PM

After-School Tutoring / Enrichment

- Monday – Friday: 3:00 PM to 6:00 PM

These hours are intentionally designed to support the diverse routines of children with special needs. During school hours, students receive curriculum-based instruction, individualized accommodations, and targeted developmental support. In our tutoring program, small-group or individual instruction helps address developmental delays or learning gaps.

Drop-Off / Pick-Up Schedule (1 hour procedure)

- Morning Drop-Off
- (Group A - Kindergarten - Grade 1/2): 8:30 AM – 8:55 AM
- (Group B - Grade 2 - Grade 3/4/5): 8:55 AM - 9:20 AM
-
- Afternoon Drop off (all school students): 2:00 PM – 2:50 PM
- (Group A - Kindergarten - Grade 1/2): 2:00 PM-2:25PM
- (Group B - Grade 2 - Grade 3/4/5): 2:25PM -2:50PM
-
- Tutoring Pick-Up / Drop-Off (3:00 PM – 6:00 PM) at the same designated parking area

ENROLLMENT & STAFFING

Bright Abilities Academy proposes a total enrollment of 36 students, supported by a maximum of 6 staff members. This staffing structure is intentionally designed to ensure small class sizes, individualized instruction, and enhanced supervision for students with diverse learning needs, including those with Autism Spectrum Disorder (ASD). Our goal is to provide a safe, nurturing, and highly supportive educational environment where each child can thrive academically, socially, and emotionally.

Enrollment Capacity

- Total Students: 36
- Classroom Distribution: Students will be divided across four classrooms, with approximately 9 students per class. This arrangement ensures manageable group sizes, allowing for personalized instruction and focused attention for each student.

Staffing Plan

- 4 Lead Teachers (one per classroom)
- 1 Instructional Coordinator: Valneida Arrais, licensed by the Florida Department of Education for Exceptional Students (K-12)
- Florida DOE License Number: 1501926
- Processing Date: 11/13/2023
- Expiration Date: 11/13/2028
- Responsible for overseeing curriculum implementation, providing specialized support, and ensuring all instructional strategies meet the needs of students with disabilities, including those with ASD.
- 1 Administrator / Floater (trained to support classrooms, assist with transitions, and provide additional supervision as needed)

Teacher-to-Student Ratio

- Proposed Ratio: Approximately 1 teacher for every 6 students.
- This ratio provides individualized instruction, close supervision, and specialized support for students with disabilities, including those with ASD, ensuring both safety and academic progress.

Under Florida licensing rules (§ 402.305, F.S.), the maximum allowable staff-to-child ratio for children **5 years and older** is:

- **1 teacher / 25 children**

Bright Abilities Academy will operate at a **significantly lower internal ratio** to ensure individualized support:

- **Proposed Ratio:**

The academy will maintain a **1:6 teacher-to-student ratio**, providing personalized instruction, supervision, and developmental support tailored to the needs of students with disabilities, including those with ASD.

- enhanced safety and supervision,
- individualized academic support,
- sensory and behavioral regulation,
- appropriate emergency and fire-safety readiness for exceptional student populations.

AGE RANGE

Bright Abilities Academy serves children ages 5–10, corresponding to Kindergarten through 5th grade. In alignment with Florida Department of Education (DOE) regulations for exceptional student education, our program is designed to meet the developmental, academic, and social needs of students with diverse learning profiles, including those with disabilities and Autism Spectrum Disorder (ASD). Our mission is to foster an inclusive, adaptive, and supportive learning environment that empowers each child to achieve their full potential, while adhering to state-mandated standards for curriculum, instruction, and individualized accommodations.

INDOOR PLAY & SENSORY ENVIRONMENT

Bright Abilities Academy will feature a dedicated Sensory Room, a carefully designed space where students can safely explore and regulate their sensory experiences—including vision, touch, hearing, and movement. This specialized environment is developed in accordance with Florida DOE guidelines for exceptional student programs, supporting:

- Self-regulation and emotional control
- Enhanced focus and attention
- Gross and fine motor development
- Therapeutic engagement for students with sensory processing challenges

The Sensory Room complements classroom instruction and provides **individualized interventions** tailored to the unique needs of each student, promoting both academic and developmental growth in a safe and structured environment.

SITE PHOTOS

Entry and side of Suite 100



Front entry of Suite 100



**THE CITY OF WINTER GARDEN
PLANNING AND ZONING BOARD AGENDA ITEM #4.A**

Date: January 23, 2026 **Meeting Date:** February 2, 2026
Subject: 1211 Winter Garden Vineland Road
Project Name: 1211 Winter Garden Vineland Road (Resurrection Catholic Church Renovations)
Parcel ID: 12-22-27-6496-29-010
Issue: The applicant is requesting a reduction to paved parking areas for the property located at 1211 Winter Garden Vineland Road.

Supplemental Material / Analysis:

Owner / Applicant: William Hockensmith, Florida Engineering Group, Inc.
Current Zoning: C-2 (Arterial Commercial District)
Proposed Zoning: N/A
Current FLU: COM (Commercial)
Proposed FLU: N/A

Summary: The applicant is requesting a reduction to paved parking areas in accordance with Winter Garden Code of Ordinances Section 118-1387(h)(4), for the property located at 1211 Winter Garden Vineland Road. If approved, the pavement in the parking lot will be reduced and reconfigured with grass parking areas that will include wheel stops and curbing to allow additional parking spaces to accommodate the required space counts for the church expansion. The driveway aisles and ADA parking spaces will remain paved.

Staff Recommendation(s):

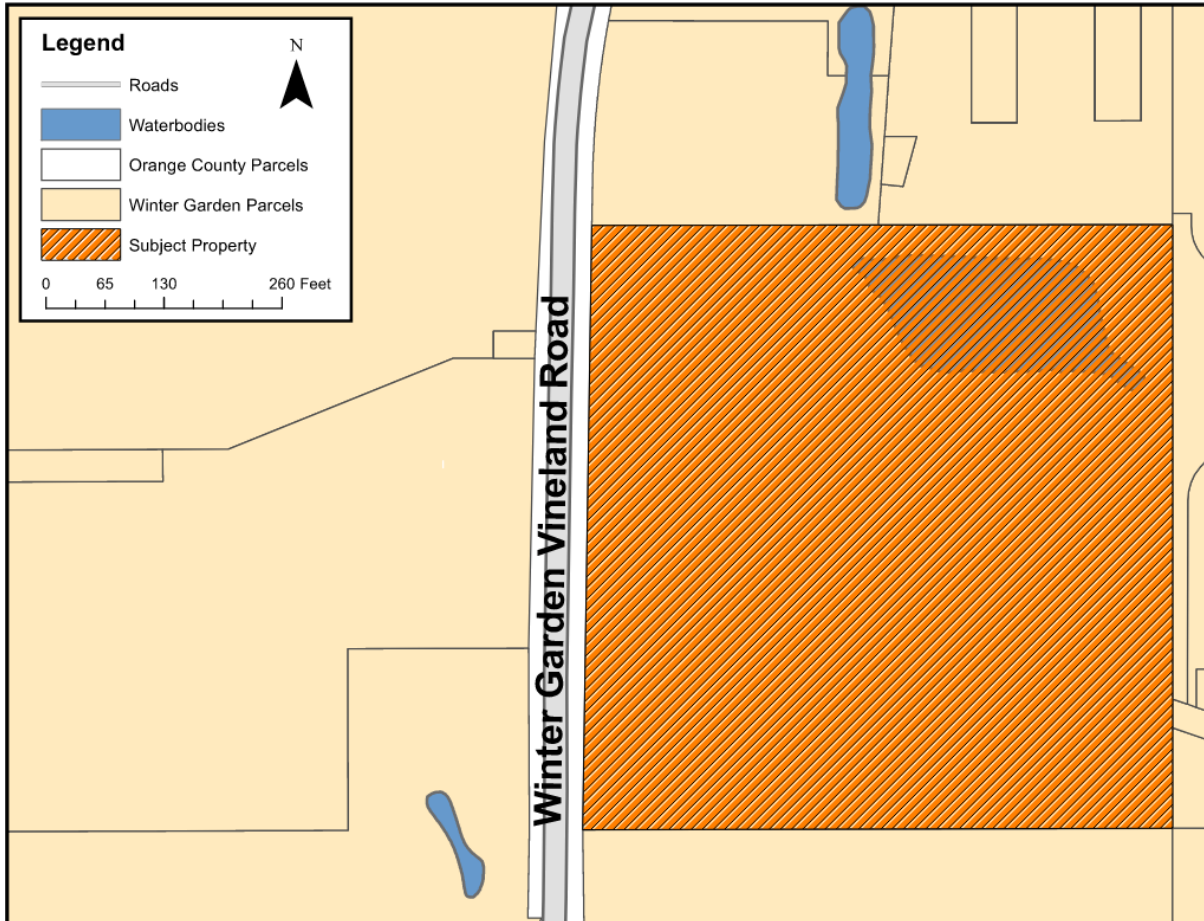
Staff recommends approval subject to any conditions outlined in the Development Review Committee (DRC) Staff Report.

Next Step(s): If approved by the Planning and Zoning Board, this project will require final approval by the City Commission.

Attachment(s): DRC Staff Report
Site Plan
Location Map

LOCATION MAP

1211 Winter Garden Vineland Road



CITY OF WINTER GARDEN

DEVELOPMENT REVIEW COMMITTEE

300 West Plant Street - Winter Garden, Florida 34787-3011
(407) 656-4111

MEMORANDUM

TO: KELLY CARSON, PLANNING DIRECTOR
FROM: DEVELOPMENT REVIEW COMMITTEE
DATE: JANUARY 23, 2026
SUBJECT: REVIEW OF MAJOR SITE PLAN – RESURRECTION CATHOLIC CHURCH
1211 WINTER GARDEN VINELAND ROAD

Pursuant to your request, we have reviewed the revised site plan dated 1/13/26 (stamped received by Planning 1/14/26) for compliance with the City's stormwater and site requirements. The plan proposes a 4,470 s.f. addition to the 39,040 s.f. existing church on the 9.84 acre C-2 zoned property with associated parking, utility and stormwater improvements. This was submitted in response to our review of 12/01/25 and DRC meeting of 6/18/25 where it was referred to staff review only.

ENGINEERING COMMENTS

We again recommend approval of the site plan, subject to approval by all other departments and the following conditions and comments.

1. Planning Department shall review and comment on proposed uses, parking, setbacks, landscaping, buffering, lighting and signage requirements. **Planning to address the extensive use of grass parking.**
2. General Requirements (as noted):
 - a. All gravity sanitary pipe and fittings shall be SDR 26.
 - b. All compaction shall be 98% of the modified proctor maximum density (AASHTO T-180).
 - c. As-built record drawings shall comply with City of Winter Garden requirements available on-line (note on plan).
 - d. All Storm (>12") and Sanitary lines (>6") shall be inspected by CCTV prior to completion.
 - e. Use City Standard Detail sheets for utilities and public works in future submittals (see City website).
 - f. If Thermoplastic pipe is used it shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, HP polypropylene pipe (**not HDPE; N-12**), laser profiling, installation per ASTM D2321, etc. (see under on-line forms on website).
 - g. All utilities shall be underground pursuant to Code (Sec. 18-33) including electrical power, cable, telephone, etc.
3. All utilities shall conform to Chapter 78 of the City Code. Impact fees will be required for any utility connections and shall be paid prior to issuance of building permit and City execution of FDEP permit applications. The site shall be served by City water, sewer and reuse. All utilities required for the development shall be run to the site at the Developer's expense, including potable water, reclaimed water and sanitary sewer. 100% of all required water, irrigation and sewer impact fees shall be paid prior to City execution of FDEP permits and issuance of site or building permits.

No utility plans were shown. *Per the response dated 11/4/25, no new utilities are proposed.*

4. All on-site utilities shall be privately owned and maintained as well as the stormwater system.

5. Buildings over 6,000 s.f. will require fire sprinklers. All work downstream of the POS shall be performed by a licensed fire sprinkler contractor. Coordinate fire protection review and approval with the Fire and Building Departments.
6. Streetlighting both internally and on all street frontages (if not existing) is required pursuant to City Code – dark skies lighting is required. A photometric plan has again been provided for review by Planning Department.
7. Tree Removal Permit issued by the City of Winter Garden Building Department may be required prior to final plan approval. Coordinate with Planning & Building Departments.
8. Minimum 5' wide concrete sidewalks shall be constructed along all street frontages pursuant to Code. Any damaged, broken or cracked sections (including existing curbs and pavement) shall be replaced prior to issuance of certificate of occupancy.
9. Sheet C-9 – Paving, Grading & Drainage Plan:
 - a. **Per the 6/18/25 DRC meeting, this phase is to address the existing drainage problem at the south & southwest area of the property: the existing ditch needs to be cleaned out to provide positive drainage. Callouts for this work have been included and will be checked during construction for compliance.**
10. Permit modification from SJRWMD is acknowledged.

PLANNING COMMENTS

11. Per Section 118-1387(h)(4) of City Code paved areas may be reduced in part or in whole by approval of the city commission after review by the planning and zoning board. As a major site plan this will require final approval from the City Commission, however, the request will need to be presented to the Planning & Zoning Board.
12. Note: All signage shall adhere to City Code Chapter 102 – Signs.

STANDARD GENERAL CONDITIONS

13. The Owner is responsible for meeting all provisions of ADA and Florida Accessibility Code.
14. All work shall conform to City of Winter Garden standards and specifications.
15. Fencing, shall meet all City requirements for height, type, etc. Chain link fencing, if used, shall be vinyl coated per Code.
16. The City of Winter Garden will inspect private site improvements only to the extent that they connect to City owned/maintained systems (roadways, drainage, utilities, etc.). It is the responsibility of the Owner and Design Engineer to ensure that privately owned and maintained systems are constructed to the intended specifications. The City is not responsible for the operation and maintenance of privately owned systems, to include, but not be limited to, roadways, parking lots, drainage, stormwater ponds or on-site utilities.
17. The Contractor is responsible for the notification, location and protection of all utilities that may exist within the project limits.
18. No fill or runoff will be allowed to discharge onto adjacent properties; existing drainage patterns shall not be altered. The applicant should note that if approval is granted, the City of Winter Garden is not granting rights or easements for drainage from, or onto, property owned by others. Obtaining permission, easements or other approvals that may be required to drain onto private property is the

Owner/Developer's responsibility. Should the flow of stormwater runoff from, or onto adjacent properties be unreasonable or cause problems, the City will not be responsible and any corrective measures required will be the responsibility of the Owner. Site construction shall adhere to the City of Winter Garden erosion and sediment control requirements as contained in Chapter 106 - Stormwater. If approval is granted by the City of Winter Garden, it does not waive any permits that may be required by federal, state, regional, county, municipal or other agencies that may have jurisdiction.

19. After final plan approval, a preconstruction meeting will be required prior to any commencement of construction. The applicant shall provide an erosion control and street lighting plan at the preconstruction meeting and shall pay all engineering review and inspection fees prior to construction. Inspection fees in the amount of 2.25% of the cost of all site improvements shall be paid prior to issuance of the building permit.

Additional comments may be generated at subsequent reviews

Please review this information and contact our office if you have any questions. Thank you.

END OF MEMORANDUM

CONSTRUCTION PLANS

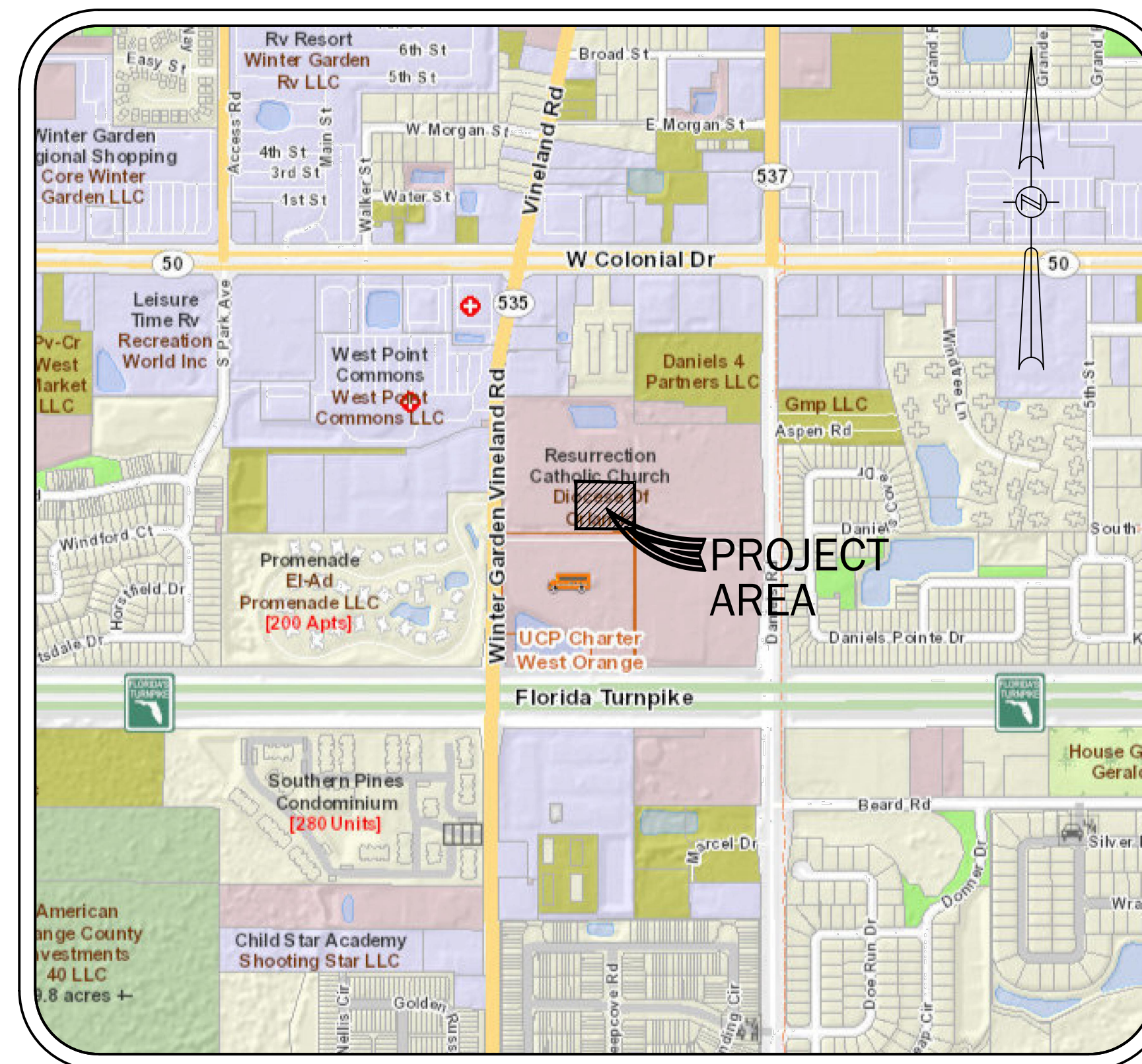
RESURRECTION CATHOLIC CHURCH

1211 WINTER GARDEN VINELAND ROAD

WINTER GARDEN, FLORIDA

PARCEL I.D. No. 12-22-27-6496-29-010

SITE VICINITY MAP



NOT TO SCALE

PLAN INDEX

- C-1 COVER SHEET
- C-2 EXISTING CONDITIONS
- C-3 LEGEND, NOTES AND SPECIFICATIONS
- C-4 SITE DEMOLITION AND STORMWATER POLLUTION PREVENTION PLAN
- C-5 SITE DEMOLITION AND STORMWATER POLLUTION PREVENTION PLAN NOTES
- C-6 OVERALL SITE PLAN
- C-7 SITE GEOMETRY PLAN PHASE 1
- C-8 SITE GEOMETRY PLAN
- C-9 SITE PAVING, GRADING & DRAINAGE PLAN
- C-10 SITE CROSS SECTIONS (1 OF 2)
- C-11 SITE CROSS SECTIONS (2 OF 2)
- C-12 SITE CONSTRUCTION DETAILS
- C-13 CITY OF WINTER GARDEN DETAILS (1 OF 2)
- C-14 CITY OF WINTER GARDEN DETAILS (2 OF 2)
- E0.001 SYMBOL LEGEND, GENERAL NOTES & SPECIFICATIONS
- E1.101 PHOTOMETRICS PLAN
- E1.201 SITE LIGHTING POWER PLAN
- E1.401 DETAILS AND SCHEDULES
- L-1 SITE LANDSCAPE PLAN
- L-2 SITE IRRIGATION PLAN

OWNER: DIOCESE OF ORLANDO
P.O. BOX 1800
ORLANDO, FL. 32802
PHONE: (407) 246-4895

ARCHITECT: HOUSEMAN ARCHITECTURE
1201 S. ORLANDO AVENUE
WINTER PARK, FL 32789
PHONE: (321) 972-8446

SURVEYOR: ACCURIGHT SURVEYS OF ORLANDO
2012 E. ROBINSON STREET
ORLANDO, FL 32803
PHONE: (407) 894-6314

PERMITTING AGENCIES

S.J.R.W.M.D.: ENVIRONMENTAL RESOURCE PERMIT
CITY OF WINTER GARDEN: SITE PLAN APPROVAL
F.D.E.P. : NPDES PERMIT

UTILITY COMPANIES

WATER: (407) 656-4111
SEWER: (407) 656-4111
ELECTRIC: (407) 905-3376
TELEPHONE: (407) 814-5293
CABLE: (407) 532-8509
GAS: (407) 656-2734

CITY OF WINTER GARDEN
CITY OF WINTER GARDEN
DUKE ENERGY
CENTURYLINK WINTER GARDEN
CHARTER COMMUNICATIONS
LAKE APOPKA NATURAL GAS



51 . . . v . . .
 Orlando, FL 32809
 Phone: 407-895-0324
 Fax: 407-895-0325

WW . . .

GENERAL NOTES:

- THESE GENERAL NOTES APPLY TO ALL WORK IN THIS SET OF DRAWINGS.
- IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR(S) TO ENSURE THAT ALL REQUIRED PERMITS ARE OBTAINED AND ARE IN HAND AT THE JOB SITE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL ABIDE BY ALL CONDITIONS CONTAINED THEREIN.
- THE SPECIFICATIONS, NOTES, AND PLANS CALL ATTENTION TO CERTAIN REQUIRED FEATURES OF THE CONSTRUCTION BUT DO NOT PURPORT TO COVER ALL DETAILS OF DESIGN AND CONSTRUCTION. HOWEVER, THE CONTRACTOR SHALL FURNISH & INSTALL THE WORK IN ALL DETAILS AND READY FOR OPERATION.
- ALL EQUIPMENT SHALL BE HANDLED, STORED, INSTALLED, TESTED, AND OPERATED IN STRICT ACCORDANCE WITH THE APPLICABLE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL WORK SHALL BE ACCOMPLISHED TO THE HIGHEST QUALITY CRAFTSMANSHIP STANDARDS AS APPROVED BY THE ENGINEER.
- ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, ORDINANCES AND REGULATIONS.
- APPARENT ERRORS, DISCREPANCIES, OR OMISSIONS ON THE DRAWINGS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION BEFORE BIDDING.
- AFTER COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PERFORM SITE CLEAN-UP OPERATIONS FOR REMOVAL OF ALL TRASH, DEBRIS, EXCESS MATERIAL, AND EQUIPMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRESENT THE PROJECT SITE CLEAN AND IN GOOD ORDER AT THE TIME OF FINAL ACCEPTANCE.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS, AND SPECIFICATIONS OF CITY OF WINTER GARDEN FOR SITE IMPROVEMENT IN THE ABSENCE OF A PARTICULAR REQUIREMENT.
- FLORIDA LAW (F.S. 553.851) PROTECTION OF UNDERGROUND PIPELINES MANDATES THAT "NO EXCAVATOR SHALL COMMENCE OR PERFORM ANY EXCAVATION IN ANY PUBLIC OR PRIVATE STREET, ALLEY, OR RIGHT-OF-WAY DEDICATED TO THE PUBLIC USE, OR GAS UTILITY EASEMENT WITHOUT FIRST OBTAINING INFORMATION CONCERNING THE POSSIBLE LOCATION OF GAS PIPELINES IN THE AREA OF THE PROPOSED EXCAVATION. THIS INCLUDES ANY OPERATION UTILIZING HAND TOOLS OR POWER TOOLS WHICH MOVES OR REMOVES ANY STRUCTURE, EARTH, ROCK, OR OTHER MASS OF MATERIAL BY SUCH METHODS AS DIGGING, BACKFILLING, DEMOLITION, GRADING, DITCHING, DRILLING, BORING, AND CABLE PLOWING. THE EXCAVATOR MUST NOTIFY THE GAS UTILITY A MINIMUM OF 48 HOURS AND A MAXIMUM OF 5 DAYS PRIOR TO EXCAVATING (EXCLUDING SATURDAYS, SUNDAYS, AND LEGAL HOLIDAYS).
- CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES OF PROPOSED START OF WORK IN ACCORDANCE WITH THEIR STANDARD REQUIREMENTS; INCLUDING BUT NOT LIMITED TO WATER, SEWER, POWER, TELEPHONE, GAS, AND CABLE TV COMPANIES.
- ANY DIFFERING SITE CONDITIONS FROM THAT WHICH IS REPRESENTED HEREON, WHETHER ABOVE, ON, OR BELOW THE SURFACE OF THE GROUND, SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ENGINEER AND OWNER IN WRITING. NO CLAIM FOR EXPENSES INCURRED BY THE CONTRACTOR DUE TO DIFFERING SITE CONDITIONS WILL BE ALLOWED IF CONTRACTOR FAILS TO PROVIDE THE REQUIRED WRITTEN NOTIFICATION OF SUCH CONDITIONS FOR REVIEW BY THE ENGINEER AND OWNER.
- THE CONTRACTOR SHALL FURNISH OWNER WITH ACCURATE RECORD DRAWINGS PREPARED BY A LICENSED PROFESSIONAL SURVEYOR SHOWING AS-CONSTRUCTED HORIZONTAL AND VERTICAL DIMENSIONING OF THE WORK. THE SUBMITTAL COPY OF THE RECORD DRAWINGS WILL NOT BE RETURNED. THE RECORD DRAWING OR A REPRODUCIBLE COPY PREPARED BY THE ENGINEER SHALL BE CERTIFIED BY THE CONTRACTOR AS CORRECT. ALL INFORMATION WHICH IS UNCHANGED AND CURRENT SHALL BE NOTED BY CHECKING OFF OR CIRCLING. ALL REVISED INFORMATION SHALL BE CROSSED THROUGH AND NEW DATA ADDED. ADDITIONAL REQUIREMENTS ARE NOTED IN PAVING, GRADING, DRAINAGE, WATER, AND SEWER NOTES.
- ALL PRIVATE AND PUBLIC PROPERTIES AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- THE CONTRACTOR SHALL FOLLOW THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN PREPARING THE SITE FOR CONSTRUCTION; THIS INCLUDES REMOVAL OF ANY EXISTING ORGANIC SOILS, DELETERIOUS MATERIAL, VEGETATION, AND/OR DEBRIS FROM WITHIN THE LIMITS OF CONSTRUCTION AS IDENTIFIED BY THE GEOTECHNICAL ENGINEER; PROOFROLLING OF THE NATURAL SOILS WHERE REQUIRED; AND OTHER GENERAL SITE PREPARATION REQUIREMENTS. SPECIFIC PROOFROLLING COMPACTION REQUIREMENTS SHOULD BE CONSISTENT WITH THE APPLICABLE DESIGN DOCUMENTS AND GEOTECHNICAL ENGINEER'S RECOMMENDATIONS. IF THERE IS A CONFLICT BETWEEN THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND THE DESIGN DOCUMENTS, THE MORE STRINGENT REQUIREMENT SHALL APPLY.

GEOMETRY NOTES:

- THESE PLANS ARE BASED ON A SURVEY PREPARED FOR THE OWNER BY ACCURIGHT SURVEYS OF ORLANDO AND DATED DECEMBER 5, 2007.
- REFER TO SHEET C-2 FOR REFERENCED BENCHMARK.
- CONTRACTOR SHALL STAKE ALL IMPROVEMENTS USING THE GEOMETRIC DATA PROVIDED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO COMPLETELY STAKE & CHECK ALL IMPROVEMENTS TO ENSURE ADEQUATE POSITIONING, BOTH HORIZONTAL & VERTICAL, PRIOR TO THE INSTALLATION OF ANY IMPROVEMENTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY APPARENT DISCREPANCIES ARE FOUND.
- ALL DIMENSIONS ARE TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY THE ACCURACY OF THE BUILDING GEOMETRY SHOWN WITH THAT IN THE FINAL ARCHITECTURAL DRAWINGS, PRIOR TO STAKE-OUT, & SHALL NOTIFY OWNER & ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.

MARKING, STRIPING, & SIGNAGE NOTES:

- ALL MARKINGS MUST COMPLY WITH THE F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS, MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND THE CITY OF WINTER GARDEN LAND DEVELOPMENT CODE. PARKING SPACES MAY BE F.D.O.T. RATED PAINT. ALL OTHER MARKINGS MUST BE THERMOPLASTIC.
- HANDICAP PARKING SPACES SHALL BE PROPERLY SIGNED AND STRIPED IN ACCORDANCE WITH FLORIDA STATUTE 316, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND OTHER APPLICABLE STANDARDS. REFER TO F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS INDEX 17355 FOR HANDICAP SYMBOL.
- HANDICAP SIGN SHALL BE F.D.O.T. SPECIFICATION FTP 25.

PAVING, GRADING, & DRAINAGE NOTES:

- ALL CONSTRUCTION, INCLUDING SIDEWALKS, SHALL BE IN ACCORDANCE WITH CITY OF WINTER GARDEN CONSTRUCTION SPECIFICATIONS AND OTHER GENERAL AND SPECIAL SPECIFICATIONS, AND THE LATEST EDITION OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, UNLESS STATED OTHERWISE IN THE SPECIFICATIONS OR ON THE PLANS.
- SUBSURFACE INFORMATION PROVIDED WITH THESE DRAWINGS WAS OBTAINED FOR USE IN ESTABLISHING DESIGN CRITERIA FOR THE PROJECT. THE ACCURACY OF THIS INFORMATION IS NOT GUARANTEED AND IS NOT TO BE CONSTRUED AS PART OF THE PLANS GOVERNING CONSTRUCTION OF THE PROJECT.
- THE LOCATIONS OF EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS FOR FIELD LOCATIONS AND FOR ANY RELOCATIONS OF THE VARIOUS EXISTING UTILITIES WITH THE UTILITY OWNERS, WHICH SHALL BE DONE IN A TIMELY FASHION TO MINIMIZE IMPACT ON THE CONSTRUCTION SCHEDULE. ANY DELAY OR INCONVENIENCE CAUSED THE CONTRACTOR BY THE RELOCATION OF THE VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.
- ALL FILL MATERIAL IN GENERAL IMPROVEMENT AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE SOIL'S MODIFIED PROCTOR MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T-180. SPECIFIC SITE PREPARATION METHODS, TYPE OF FILL TO BE USED FOR PARKING AND BUILDING AREAS, AND COMPACTION SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS (SEE GEOTECHNICAL REPORT PREPARED BY ARDAMAN & ASSOCIATES, INC., PROJECT NO. 19-6369) REFER TO STRUCTURAL, ARCHITECTURAL, AND GEOTECHNICAL DOCUMENTS FOR ANY WORK RELATED TO BUILDINGS AND OTHER VERTICAL ELEMENTS FOR SPECIFIC SITE IMPROVEMENT AND FILL REQUIREMENTS. THIS PLAN ONLY COVERS SITE RELATED IMPROVEMENTS AND INFRASTRUCTURE. REFER TO PAVEMENT SECTION DETAILS FOR MATERIAL AND COMPACTION REQUIREMENTS OF PAVEMENT SUBGRADE.
- ALL UNDERGROUND UTILITIES INCLUDING CONDUIT FOR ELECTRICAL, CABLE TV, AND TELEPHONE SHALL BE INSTALLED PRIOR TO PAVEMENT CONSTRUCTION.
- CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL SUBMIT DETAILED SHOP DRAWINGS OF ALL MAJOR ITEMS PROPOSED FOR THIS PROJECT TO THE ENGINEER PRIOR TO ORDERING ANY OF THE EQUIPMENT. UPON THE CONTRACTOR'S RECEIPT OF APPROVED SHOP DRAWINGS FROM THE ENGINEER, THE CONTRACTOR MAY PROCEED WITH THE WORK.
- ALL DISTURBED AREAS MUST BE SODDED UNLESS OTHERWISE NOTED ON THE PLANS. ALL SODDING MUST BE DONE IN ACCORDANCE WITH SECTION 570 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION.
- PROVIDE HANDICAP ACCESS WHERE SIDEWALKS MEET CURBS.

EROSION CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM WITH CITY OF WINTER GARDEN SPECIFICATIONS, SUBJECT TO AUTHORIZED AND APPROVED VARIANCES, WAIVERS AND/OR CONDITIONAL CHANGES.
- EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTATION OF SILT OFF THE SITE.
- CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN AT THE PRE-CONSTRUCTION MEETING. THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES IN CONTROLLING EROSION AND SEDIMENTATION DURING CONSTRUCTION.
- ALL CLEARED AREAS FOR IMPROVEMENT AND/OR CONSTRUCTION SHALL BE WATERED TO PREVENT WIND EROSION.
- PRIOR TO LAND CLEARING THE CONTRACTOR SHALL PROVIDE TREE PROTECTION BARRIERS TO MEET THE REQUIREMENTS OF CITY OF WINTER GARDEN.
- THE CONTRACTOR SHALL SELECTIVELY CLEAR ONLY THE AREAS REQUIRED FOR CONSTRUCTION AND STABILIZE ANY POTENTIAL EROSION AREAS IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION.

WATER & SEWER UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE WITH CITY OF WINTER GARDEN FOR CONSTRUCTION OF THE WATER AND SEWER SYSTEMS, RESPECTIVELY. ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THEIR SPECIFICATIONS AND REQUIREMENTS, AS APPLICABLE AND WILL BE SUBJECT TO THEIR INSPECTION AND ACCEPTANCE.
- CONTRACTOR SHALL COORDINATE ALL WATER AND SEWER SYSTEM TEST SCHEDULING TO ALLOW ENGINEER'S ATTENDANCE AND PROVIDE FIVE (5) WORKING DAYS NOTICE OF WATER AND SEWER TESTS. CONTRACTOR'S FAILURE TO PROPERLY NOTIFY ENGINEER MAY RESULT IN RETESTING AT ENGINEER'S OPTION AND AT CONTRACTOR'S EXPENSE.
- ENGINEER RESERVES THE RIGHT TO WITHHOLD APPROVAL FOR ANY PORTION OF THE WATER OR SEWER PIPE WORK WHICH HAS NOT BEEN TESTED (OBSERVED BY ENGINEER) AND REPORTED TO CONFORM TO PROJECT SPECIFICATIONS.
- SITE CONTRACTOR SHALL COORDINATE AND VERIFY ALL UTILITY SERVICES WITH FINAL ARCHITECTURAL DRAWINGS AND BUILDING CONTRACTOR.
- CONTRACTOR SHALL VERIFY SIZE AND TYPE OF EXISTING MAIN PRIOR TO ORDERING TAPPING MATERIALS FOR TIE-INS.
- CONTRACTOR SHALL MAINTAIN A SET OF RECORD DRAWINGS MARKED UP WITH HORIZONTAL AND VERTICAL AS-BUILT INFORMATION ON LOCATION OF WATER MAINS, FITTINGS, AND WATER SERVICES LOCATED FROM CENTERLINE OF NEAREST FIRE HYDRANT OR NEAREST MANHOLE.
- SITE UTILITY WORK SHALL TERMINATE 5 FEET FROM BUILDINGS UNLESS OTHERWISE STATED.
- CONTRACTOR SHALL NOT ACTIVATE WATER SERVICE UNTIL THE FDEP HAS CLEARED THE SYSTEM FOR USE AND THE CLEARANCE LETTER HAS BEEN RECEIVED BY THE OWNER.

F.D.E.P. CONSTRUCTION NOTES:

UTILITY SEPARATION - VERTICAL CLEARANCE:

- NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY -OR VACUUM- TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST SIX INCHES ABOVE THE OTHER PIPELINE OR LEVER 12" BELOW THE OTHER PIPELINE, AND NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OTHER PIPELINE.
- AT THE UTILITY CROSSINGS DESCRIBED ABOVE, ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE, SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE OR THE PIPES. SHALL BE ARRANGED SO THAT ALL WATER MAIN JOINTS ARE AT LEAST THREE FEET FROM ALL JOINTS IN VACUUM-TYPE SANITARY SEWERS, STORM SEWERS, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER (OR A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST (6") SIXTY SIX INCHES ABOVE THE TOP OF THE SEWER); A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM".

UTILITY SEPARATION HORIZONTAL SEPARATION:

- NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER (OR A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER IF THE BOTTOM OF THE WATER MAIN WILL BE LAID AT LEAST (6") SIXTY SIX INCHES ABOVE THE TOP OF THE SEWER); A HORIZONTAL DISTANCE OF AT LEAST SIX FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.; AND A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM".
- THE CONTRACTOR SHALL PERFORM HYDROSTATIC TESTING OF ALL NEWLY-INSTALLED WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE CITY OF WINTER GARDEN & IN ACCORDANCE WITH AWWA STANDARD C600 FOR DUCTILE-IRON PIPE. TESTING SHALL BE IN ACCORDANCE WITH AWWA MANUAL M22 FOR PVC PIPE.
- THE CONTRACTOR SHALL DISINFECT ALL SECTIONS OF THE WATER DISTRIBUTION SYSTEM IN ACCORDANCE WITH THE F.D.E.P. WATER PERMIT, & RECEIVE APPROVAL THEREOF FROM THE LOCAL WATER UTILITY ENGINEER OF RECORD, & F.D.E.P., PRIOR TO PLACING IN SERVICE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COPIES OF THE F.D.E.P. WATER & SEWER PERMITS FROM THE PERMITS FROM THE OWNER & MAINTAIN THEM ON THE JOB SITE AT ALL TIMES. DISINFECTION OF THE WATER DISTRIBUTION SYSTEM SHALL SYSTEM SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTING WATER MAINS". SHALL BE PERFORMED IN ACCORDANCE WITH AWWA 651 "DISINFECTING WATER MAINS".

CONSTRUCTION NOTES:

- THE PERMITTEE SHALL BE SEPARATELY RESPONSIBLE FOR APPROPRIATE CONSTRUCTION, DISINFECTION & TESTING BEYOND THE METER TO ASSURE PROBABILITY AT THE POINT OF USE.
- POTABLE WATER PIPES WILL BE DISINFECTED IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.
- POTABLE PIPES WILL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH SPECIFICATION NUMBERS C600 & C605/M23 FOR DUCTILE IRON & PVC PIPES, RESPECTIVELY.
 - POTABLE WATER PIPES MUST BE MANUFACTURED IN ACCORDANCE WITH THE FOLLOWING AWWA SPECIFICATIONS:
 - DUCTILE IRON PIPE (3" TO 64") - AWWA C150/AWWA C151; LINING PER AWWA C104, COATING PER AWWA C116, ENCASEMENT PER AWWA C105, FLANGED PIPE PER AWWA C115, GASKET JOINTS PER AWWA C111 AND FITTINGS PER AWWA C110 OR AWWA C153.
 - PVC (WITH NATIONAL SANITATION FOUNDATION SEAL)
 - AWWA C900/ASTM 1784 (4" TO 12") WITH DR25 MINIMUM;
 - AWWA C905 (14" TO 48")
 - PRESSURE RATED PIPE (SDR SERIES) SHALL BE ASTM D2241, SCHEDULE 40, 80, & 120 PVC PIPES PER ASTM D1785. THE COMPOUNDS USED FOR EITHER OF THESE TYPES SHALL BE PER ASTM D1784.
 - POLYETHYLENE PIPE (1/2" - 3") - AWWA C901 WITH VALVES & FITTINGS (AWWA C800);
 - POLYETHYLENE PIPE (4" - 63") - AWWA C906.
 - FIRE HYDRANTS & VALVES PER AWWA SERIES C500 THROUGH C560.
 - METERS PER AWWA SERIES C700 THROUGH C710.
 - NON-AWWA PVC PIPES (ALLOWED ONLY FOR SIZES LESS THAN 4 INCHES) MUST HAVE A MINIMUM PRESSURE CLASS OF 200 PSI AND MUST BEAR THE NSF MARK ON EACH INSTALLED LENGTH.

CONNECTION TO EXISTING WATER MAINS:

- IF CONNECTION OF THE PROPOSED ACTIVITY TO THE WATER MAIN WILL RESULT IN DEPRESSURIZATION OF THE EXISTING SYSTEM BELOW 20 POUNDS PER SQUARE INCH, ONE OF THE FOLLOWING MUST OCCUR:
 - PRECAUTIONARY BOIL WATER NOTICES MUST BE ISSUED IN CASES OF PLANNED DISTRIBUTION INTERRUPTIONS, WHICH DEEMED AN IMMINENT PUBLIC HEALTH THREAT BY THE D.E.P., CENTRAL DISTRICT OR WILL AFFECT BACTERIOLOGICAL QUALITY OF THE DRINKING WATER UNLESS THE PUBLIC WATER SYSTEM CAN DEMONSTRATE, BY SOUND ENGINEERING JUDGMENT, THAT THE INTEGRITY OF THE WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.
 - IN CASES OF BRIEF INTERRUPTION IN SERVICE, ADVISORIES (NOT BOIL WATER NOTICES) SHOULD BE ISSUED IF TEMPORARY CHANGES IN WATER QUALITY ARE EXPECTED TO OCCUR & NOT DEEMED AN IMMINENT PUBLIC HEALTH RISK.

FILLING OF WATERMANS:

- FILLING OF PROPOSED WATER MAINS FROM EXISTING WATER MAINS WILL BE DONE IN ACCORDANCE WITH AWWA SPECIFICATIONS C651.

MATERIAL SPECIFICATIONS:

PAVING, GRADING, & DRAINAGE:

- PAVING MATERIALS SHALL CONFORM WITH F.D.O.T. STANDARDS & SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION.
- ALL STORM STRUCTURES SHALL CONFORM WITH F.D.O.T. STANDARD INDEX DRAWINGS & SPECIFICATIONS EXCEPT THAT DITCH BOTTOM INLETS IN PAVED AREAS SHALL HAVE TRAVERSABLE, TRAFFIC BEARING, GRATES SUPPORTED BY STEEL ANGLE SEATS OR SUPPORTED ON FOUR SIDES. GRATES SHALL BE CAST IRON UNLESS BICYCLE TRAFFIC IS ANTICIPATED.
- ALL TYPE "P" STRUCTURE BOTTOMS SHALL BE ROUND UNLESS OTHERWISE SPECIFIED & SHALL HAVE 4 FEET MINIMUM DIAMETER.

CITY OF WINTER GARDEN NOTES:

- GENERAL REQUIREMENTS:
 - ALL GRAVITY SANITARY PIPE AND FITTINGS SHALL BE SDR 26.
 - ALL COMPACTION SHALL BE 98% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T-180).
 - AS-BUILT RECORD DRAWINGS SHALL COMPLY WITH CITY OF WINTER GARDEN REQUIREMENTS AVAILABLE ON-LINE.
 - ALL STORM (>12") AND SANITARY LINES (>6") SHALL BE INSPECTED BY CCTV PRIOR TO COMPLETION.
- ALL UTILITIES SHALL CONFORM TO CHAPTER 78 OF THE CITY CODE. IMPACT FEES WILL BE REQUIRED FOR ANY UTILITY CONNECTIONS AND SHALL BE PAID PRIOR TO ISSUANCE OF BUILDING PERMIT AND CITY EXECUTION OF FDEP PERMIT APPLICATIONS. THE SITE SHALL BE SERVED BY CITY WATER, SEWER AND REUSE. ALL UTILITIES REQUIRED FOR THE DEVELOPMENT SHALL BE RUN TO THE SITE AT THE DEVELOPER'S EXPENSE, INCLUDING POTABLE WATER, RECLAIMED WATER AND SANITARY SEWER. 100% OF ALL REQUIRED WATER, IRRIGATION AND SEWER IMPACT FEES SHALL BE PAID PRIOR TO CITY EXECUTION OF FDEP PERMITS AND ISSUANCE OF SITE OR BUILDING PERMITS.
- SANITARY LINES FOR COMMERCIAL BUILDINGS SHALL BE 6" MINIMUM.
- MINIMUM 5" WIDE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED ALONG ALL STREET FRONTAGES PURSUANT TO CODE. ANY DAMAGED, BROKEN OR CRACKED SECTIONS (INCLUDING EXISTING CURBS AND PAVEMENT) SHALL BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
- THE USE OF HDPE PIPE SHALL MEET ALL CITY MATERIAL AND INSTALLATION REQUIREMENTS AS SPECIFIED IN THE CITY'S STANDARDS & SPECIFICATIONS INCLUDING CLASS I BEDDING, HP POLYPROPYLENE PIPE, LASER PROFILING, INSTALLATION PER ASTM D2321, ETC. (SEE UNDER ON-LINE FORMS ON WEBSITE).
- LANDSCAPING SHALL NOT ENCROACH ON REQUIRED SIGHT LINES AT INTERSECTIONS OR DRIVEWAYS. DESIGN ENGINEER SHALL PROVIDE CERTIFICATION THAT SIGHT DISTANCE REQUIREMENTS ARE BEING MET. ALL IRRIGATION ON THE SITE SHALL BE DESIGNED TO BE SUPPLIED BY RECLAIMED WATER WHEN AVAILABLE AND SHALL BE SERVED BY A JUMPER TO POTABLE WATER UNTIL THAT TIME.
- A SEPARATE TREE REMOVAL PERMIT IS REQUIRED TO REMOVE ANY TREES. COORDINATE WITH BUILDING DEPARTMENT (STEVE PASH).
- NO TREES MAY BE PLANTED OVER OR WITHIN 5 FEET OF ANY UTILITY LINES. ONLY SOD OR SHRUBS MAY BE PLANTED OVER UTILITY LINES.
- STREETLIGHTING, BOTH INTERNALLY AND ON ALL STREET FRONTAGES, IS REQUIRED PURSUANT TO CITY CODE - DARK SKIES LIGHTING IS REQUIRED. PROVIDE A PHOTOMETRIC PLAN TO BE SUBMITTED FOR REVIEW BY THE PLANNING DEPARTMENT.
- ALL ON-SITE UTILITIES SHALL BE PRIVATELY OWNED AND MAINTAINED.
- FIRE SPRINKLER SYSTEMS WILL BE REQUIRED ON ALL BUILDINGS OVER 6,000 S.F. WITH POINT OF SERVICE (POS), BACKFLOW PREVENTION, ETC. ALL WORK DOWNSTREAM OF THE POS SHALL BE PERFORMED BY A LICENSED FIRE SPRINKLER CONTRACTOR.
- ANY SCREEN WALLS OR RETAINING WALLS SHALL REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
- ALL UNDERDRAIN PIPE SHALL BE DOUBLE WALL HDPE PIPE OR PVC PIPE.
- THE OWNER IS RESPONSIBLE FOR MEETING ALL PROVISIONS OF ADA AND FLORIDA ACCESSIBILITY CODE.
- ALL WORK SHALL CONFORM TO CITY OF WINTER GARDEN STANDARDS AND SPECIFICATIONS.
- THE CITY OF WINTER GARDEN WILL INSPECT PRIVATE SITE IMPROVEMENTS ONLY TO THE EXTENT THAT THEY CONNECT TO CITY OWNED/MAINTAINED SYSTEMS (ROADWAYS, DRAINAGE, UTILITIES, ETC.). IT IS THE RESPONSIBILITY OF THE OWNER AND DESIGN ENGINEER TO ENSURE THAT PRIVATELY OWNED AND MAINTAINED SYSTEMS ARE CONSTRUCTED TO THE INTENDED SPECIFICATIONS. THE CITY IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF PRIVATELY OWNED SYSTEMS, TO INCLUDE, BUT NOT BE LIMITED TO, ROADWAYS, PARKING LOTS, DRAINAGE, STORMWATER PONDS OR ON-SITE UTILITIES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE NOTIFICATION, LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS.
- NO FILL OR RUNOFF WILL BE ALLOWED TO DISCHARGE ONTO ADJACENT PROPERTIES; EXISTING DRAINAGE PATTERNS SHALL NOT BE ALTERED. THE APPLICANT SHOULD NOTE THAT IF APPROVAL IS GRANTED, THE CITY OF WINTER GARDEN IS NOT GRANTING RIGHTS OR EASEMENTS FOR DRAINAGE FROM, OR ONTO, PROPERTY OWNED BY OTHERS. OBTAINING PERMISSION, EASEMENTS OR OTHER APPROVALS THAT MAY BE REQUIRED TO DRAIN ONTO PRIVATE PROPERTY IS THE OWNER/DEVELOPER'S RESPONSIBILITY. SHOULD THE FLOW OF STORMWATER RUNOFF FROM, OR ONTO ADJACENT PROPERTIES BE UNREASONABLE OR CAUSE PROBLEMS, THE CITY WILL NOT BE RESPONSIBLE AND ANY CORRECTIVE MEASURES REQUIRED WILL BE THE RESPONSIBILITY OF THE OWNER. SITE CONSTRUCTION SHALL ADHERE TO THE CITY OF WINTER GARDEN EROSION AND SEDIMENT CONTROL REQUIREMENTS AS CONTAINED IN CHAPTER 106 - STORMWATER. IF APPROVAL IS GRANTED BY THE CITY OF WINTER GARDEN, IT DOES NOT WAIVE ANY PERMITS THAT MAY BE REQUIRED BY FEDERAL, STATE, REGIONAL, COUNTY, MUNICIPAL OR OTHER AGENCIES THAT MAY HAVE JURISDICTION.
- AFTER FINAL PLAN APPROVAL, A PRECONSTRUCTION MEETING WILL BE REQUIRED PRIOR TO ANY COMMENCEMENT OF CONSTRUCTION. THE APPLICANT SHALL PROVIDE AN EROSION CONTROL AND STREET LIGHTING PLAN AT THE PRECONSTRUCTION MEETING AND SHALL PAY ALL ENGINEERING REVIEW AND INSPECTION FEES PRIOR TO CONSTRUCTION. INSPECTION FEES IN THE AMOUNT OF 2.25% OF THE COST OF ALL SITE IMPROVEMENTS SHALL BE PAID PRIOR TO ISSUANCE OF THE SITE OR BUILDING PERMIT (LESS WHAT HAS ALREADY BEEN PAID).

CITY OF WINTER GARDEN REQUIREMENTS:

- AS BUILT RECORD DRAWINGS SHALL COMPLY WITH THE CITY OF WINTER GARDEN REQUIREMENTS. SEE SHEET C-12
- ALL STORM PIPES (12" AND GREATER) AND NEW SANITARY (6" AND GREATER) SHALL BE INSPECTED BY CCTV PRIOR TO COMPLETION.
- ALL SCREEN WALLS SHALL REQUIRE A SEPARATE PERMIT FROM THE BUILDING DEPARTMENT.
- ALL WORK SHALL CONFORM TO CITY OF WINTER GARDEN STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION, LOCATION AND PROTECTION OF ALL UTILITIES THAT MAY EXIST WITHIN THE PROJECT LIMITS.
- ALL DISTURBED RIGHT OF WAY SHALL BE SODDED

LEGEND

SITE	
	POLE SIGN
	SMALL PYLON SIGN
	LARGE PYLON SIGN
	RIGHT TURN DIRECTIONAL ARROW
	STRAIGHT DIRECTIONAL ARROW
	LEFT TURN DIRECTIONAL ARROW
	STRAIGHT AND LEFT TURN DIRECTIONAL ARROW
	STRAIGHT AND RIGHT TURN DIRECTIONAL ARROW
	HANDICAP PARKING SYMBOL
	F.D.O.T. TYPE "d" CURB
	F.D.O.T. TYPE "f" CURB AND GUTTER
	GATE VALVE BOX, W= WATER, FV= FIRE, IV=IRRIGATION, & SSV=SANITARY SEWER
	CHAINLINK FENCE
	DECORATIVE WOOD OR ALUMINUM FENCE
	BARB WIRE FENCE
	HANDRAIL
	SCREEN/RETAINING WALL, AS NOTED.
	BIKE RACK
	PARKING COUNT SYMBOL PER ROW
	ROAD CENTERLINE SYMBOL
GRADING & DRAINAGE	
	F.D.O.T. TYPE "c" DRAINAGE INLET
	F.D.O.T. TYPE "d" DRAINAGE INLET
	F.D.O.T. TYPE "e" DRAINAGE INLET
	F.D.O.T. TYPE "1" DRAINAGE INLET
	F.D.O.T. TYPE "2" DRAINAGE INLET
	F.D.O.T. TYPE "3" DRAINAGE INLET
	F.D.O.T. TYPE "4" DRAINAGE INLET
	F.D.O.T. TYPE "5" DRAINAGE INLET
	F.D.O.T. TYPE "6" DRAINAGE INLET
	STORM DRAINAGE MANHOLE
	MITERED END SECTION
	STORM DRAINAGE PIPE
	DRAINAGE FLOW DIRECTIONAL ARROW
	DRAINAGE STRUCTURE BUBBLE
	GRADE ELEVATION
	CONTOUR ELEVATION
	EROSION CONTROL SILT FENCE
UTILITY	
	DCDA - DOUBLE CHECK DETECTOR ASSEMBLY
	DCVA - DOUBLE CHECK VALVE ASSEMBLY
	RPZ - REDUCED PRESSURE ZONE DEVICE
	DOMESTIC METER
	IRRIGATION METER
	GATE VALVE
	BLOW-OFF GATE VALVE
	REDUCER
	WET WELL
	11.25' PIPE BEND
	22.5' PIPE BEND
	30' PIPE BEND
	45' PIPE BEND
	60' PIPE BEND
	90' PIPE BEND
	TEE
	CROSS
	FIRE HYDRANT ASSEMBLY W/ UNOBTSTRUCTED AREA CLEARANCES AS REQUIRED BY FIRE MARSHALL
	FIRE DEPARTMENT CONNECTION
	CLEAN OUT
	LIFT STATION
	GREASE TRAP
	SITE LIGHTING
	DECORATIVE SITE LIGHTING
	UTILITY POLE

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10/31/2025	1 PER SJRWMD COMMENTS DATED 5/21/2025	WRH	WRH

CONSTRUCTION PLANS
RESSURECTION CATHOLIC CHURCH
1211 WINTER GARDEN VINELAND ROAD
WINTER GARDEN, FLORIDA

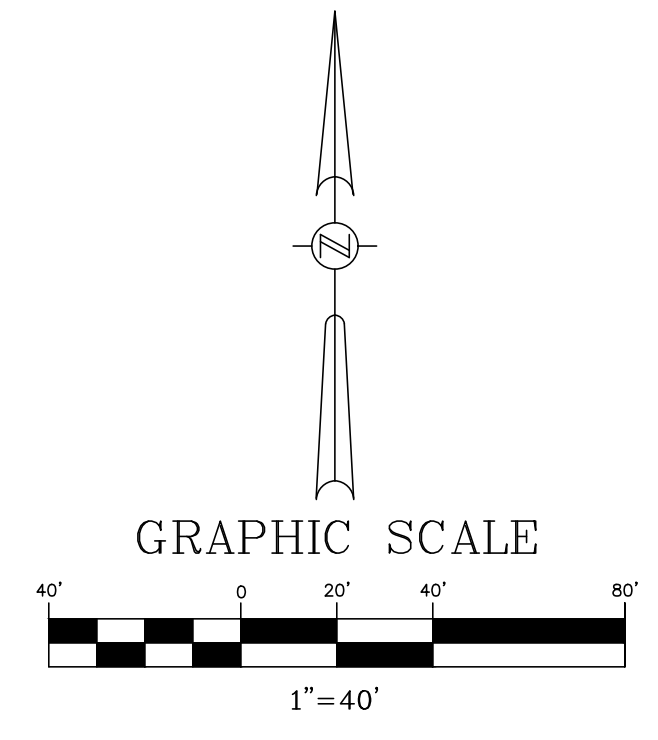
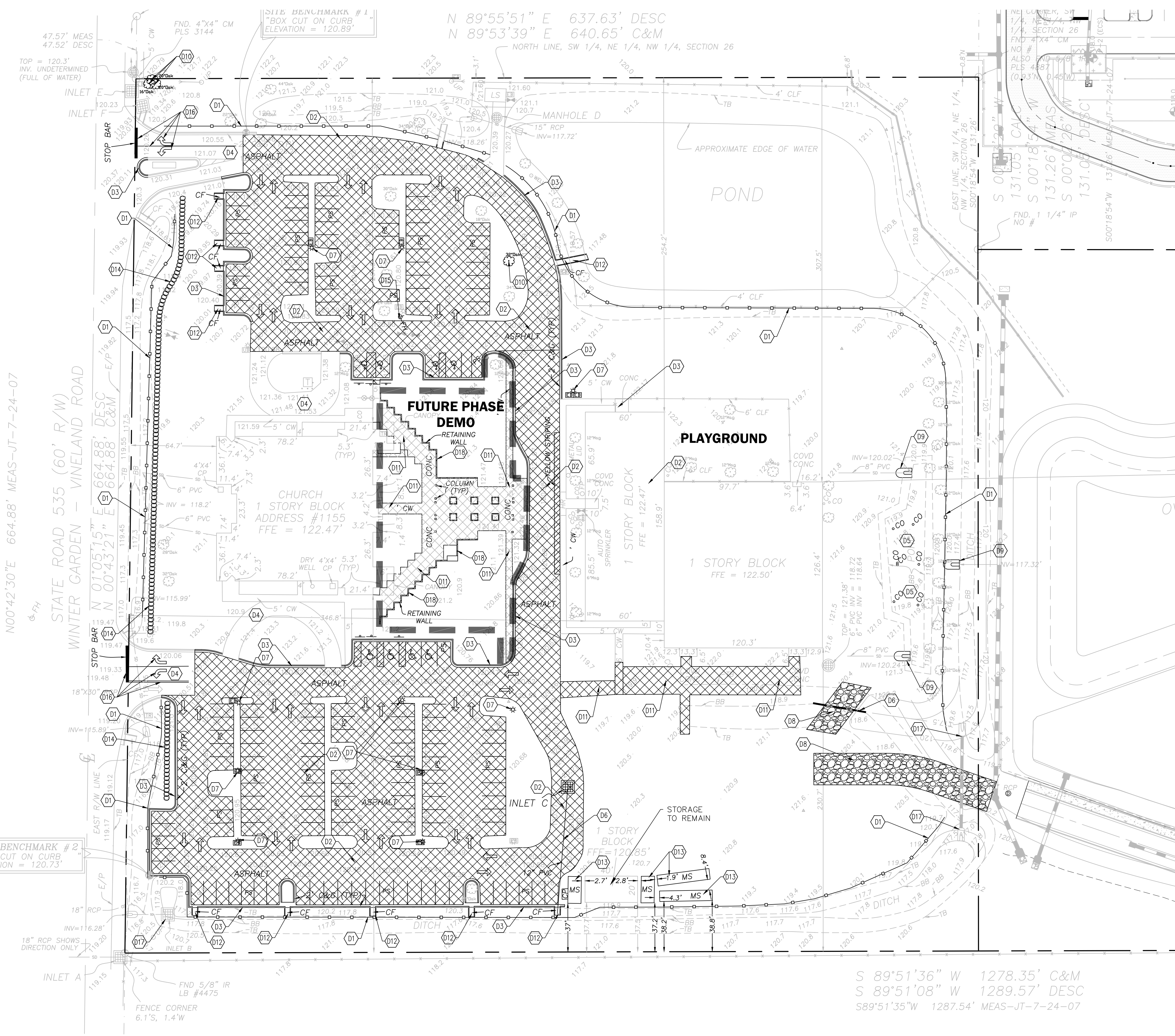
FLORIDA ENGINEERING GROUP
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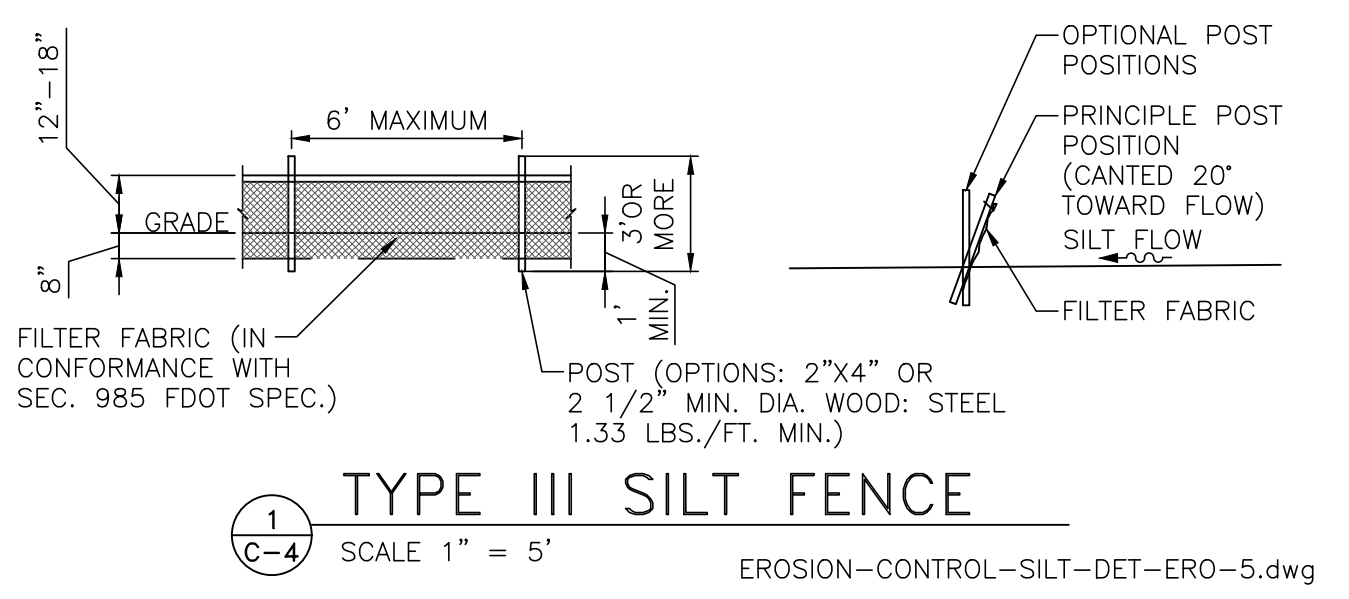
LEGEND NOTES AND SPECIFICATIONS			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
WRH	CRR	WRH	WRH

PROJECT NO.
SCALE
DATE
SHEET NO.
SHEET





- DEMOLITION KEYNOTES**
- D1. F.D.O.T. TYPE "III" SILT FENCE EROSION CONTROL BARRIER PER DETAIL ON THIS SHEET, TYPICAL.
 - D2. REMOVE PAVEMENT AND BASE WITHIN HATCHED AREA. STOCKPILE BASE FOR REUSE
 - D3. REMOVE CURBING
 - D4. PAVEMENT TO REMAIN
 - D5. REMOVE UNDER DRAIN SYSTEM
 - D6. REMOVE PIPE/MES
 - D7. REMOVE LIGHT POLE
 - D8. REMOVE TEMPORARY GRAVEL DRIVEWAY. STOCKPILE FOR REUSE
 - D9. REMOVE MES
 - D10. REMOVE TREE
 - D11. REMOVE CONCRETE PAVEMENT/PAVERS WITHIN HATCHED AREA
 - D12. REMOVE CONCRETE FLUME
 - D13. REMOVE METAL SHED
 - D14. REMOVE HEDGES
 - D15. FIRE HYDRANT TO BE RELOCATED TO NEW LANDSCAPE ISLAND
 - D16. REMOVE EXISTING STOP BAR, STRIPING AND DIRECTIONAL ARROWS
 - D17. PIPE/STRUCTURE TO REMAIN.
 - D18. REMOVE EXISTING RETAINING WALL



PLAN LEGEND
 ○—○ SILT FENCE EROSION CONTROL BARRIER

VERTICAL DATUM: NGVD 29



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CONSTRUCTION PLANS
RESSURECTION CATHOLIC CHURCH
 1211 WINTER GARDEN VINELAND ROAD
 WINTER GARDEN, FLORIDA

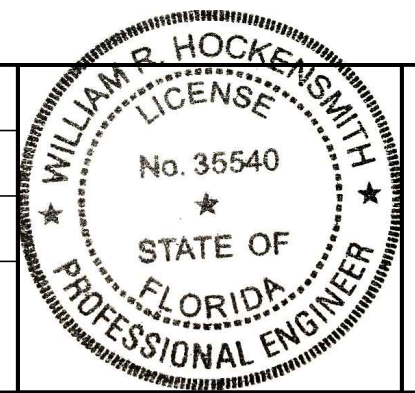


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SITE DEMOLITION & STORMWATER POLLUTION PREVENTION PLAN

DESIGNED BY WRH	DRAWN BY CRR	CHECKED BY WRH	APPROVED BY WRH
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PROJECT NO.
SCALE
DATE
SHEET NO.
SHEET



EROSION CONTROL SITE DESCRIPTION NOTES:

1. THE PROPOSED CONSTRUCTION ACTIVITY WILL ENTAIL CLEARING AND GRUBBING ACTIVITIES OF A 9.84± ACRE SITE LOCATED AT 1211 WINTER GARDEN VINELAND ROAD, TO RENOVATE A CATHOLIC CHURCH, IT'S ASSOCIATED PARKING, DRAINAGE & UTILITIES.
2. THE SEQUENCE OF SOILS DISTURBANCE ACTIVITY IS AS FOLLOWS:
 - A. INSTALL SILT FENCE AS SHOWN ON THE PLANS & PROVIDE TREE PROTECTION ON SITE, IF APPLICABLE.
 - B. CLEAR & GRUB THE AREA TO BE DISTURBED.
 - C. PLACE FILL ON-SITE TO BRING THE SITE UP TO THE PROPOSED GRADES.
 - D. BEGIN COMPACTION / STABILIZATION PROCESS.
3. THE TOTAL SITE AREA IS 9.84± ACRES AND THE AREA TO BE DISTURBED IS APPROXIMATELY 7.08± ACRES.
4. THE EXISTING SOIL IS WABASSO URBAN LAND COMPLEX. THE QUALITY OF THE STORMWATER DISCHARGE IS CONSISTENT WITH THE RUNOFF GENERATED BY THE COMMERCIAL SITE.
5. THE TOTAL DRAINAGE AREA FOR THE PROJECT IS APPROXIMATELY 9.84± ACRE.
6. THE LATITUDE & LONGITUDE FOR THE DISCHARGE POINTS IS **LAT: N 28° 32' 51" LONG: W 81° 35' 15"**, AS THE OVERFLOW POINT FOR THE EXISTING ONSITE STORMWATER SYSTEM.
7. WASTE DISPOSAL SHALL BE IMPLEMENTED IN ACCORDANCE WITH LOCAL, STATE & FEDERAL REGULATIONS. ALL TRUCKS EXITING THE SITE WILL BE HOSED, ITS LOAD COVERED AND THE COVER PROPERLY SECURED. THE STORAGE, APPLICATION, GENERATION & MIGRATION OF ALL FERTILIZERS, HERBICIDES, PESTICIDES & TOXIC MATERIAL SHALL BE IN ACCORDANCE W/ LOCAL, STATE & FEDERAL REGULATIONS.
8. CONTRACTOR SHALL IDENTIFY THE INDIVIDUAL(S) RESPONSIBLE FOR THE WEEKLY & REQUIRED INSPECTIONS. A REPORTING SYSTEM ENTAILING THE ITEMS TO BE INSPECTED & THEIR CONDITION SHOULD BE DOCUMENTED & PLACED IN A DEDICATED FILING SYSTEM THAT WILL REMAIN ON THE PROJECT SITE, ACCESSIBLE TO THE CONSTRUCTION TEAM & TO THE F.D.E.P. INSPECTORS.
9. INSPECTIONS: CONSTRUCTION SITE WILL BE INSPECTED FOR EROSION PROBLEMS DAILY AND AFTER AFTER EACH RAINFALL GREATER THAN 0.5 INCH. A RAIN GAUGE WILL BE ON SITE TO MEASURE THE RAINFALL AMOUNT.

EROSION CONTROL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, & LOCAL CODES, ORDINANCES, & REGULATIONS GOVERNING POLLUTION OF THE ENVIRONMENT & SHALL IMPLEMENT ALL MEASURES NEEDED TO ENSURE ADEQUATE EROSION & SEDIMENT CONTROL DURING THE ENTIRE DURATION OF CONSTRUCTION. EROSION & SEDIMENT CONTROL MEASURES SHALL CONFORM TO ORANGE COUNTY, SOUTH FLORIDA WATER MANAGEMENT DISTRICT, FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, & FLORIDA DEPARTMENT OF TRANSPORTATION REQUIREMENTS. INSTALLATION OF SILT FENCES & TURBIDITY BARRIERS SHALL BE IN ACCORDANCE WITH F.D.O.T. ROADWAY & TRAFFIC DESIGN STANDARDS & STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION, LATEST EDITION. EROSION & SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION.
2. EROSION & SEDIMENT CONTROL MEASURES ARE TO BE APPLIED AS A PERIMETER DEFENSE AGAINST THE TRANSPORTATION OF SILT & SEDIMENTS OFF THE PROJECT SITE OR INTO ADJACENT WATER BODIES OR WETLANDS. THE CONTRACTOR SHALL PREPARE & IMPLEMENT AN EROSION CONTROL PLAN AS PART OF THE SCOPE OF WORK COVERED BY THESE PLANS. THE CONTRACTOR SHALL USE BEST MANAGEMENT PRACTICES IN CONTROLLING EROSION & SEDIMENT TRANSPORT DURING CONSTRUCTION. THE FLORIDA DEVELOPMENT MANUAL "A GUIDE TO SOUND LAND & WATER MANAGEMENT" MAY BE USED AS REFERENCE FOR RECOMMENDED BEST MANAGEMENT PRACTICES RELATED TO EROSION & SEDIMENT CONTROL.
3. THE CONTRACTOR SHALL SUBMIT THE EROSION CONTROL PLAN TO THE OWNER FOR APPROVAL PRIOR TO THE PRE-CONSTRUCTION MEETING.
4. ALL EROSION & SEDIMENT CONTROL MEASURES WHICH ARE NECESSARY TO LIMIT THE TRANSPORT OF SILTS & SEDIMENTS TO OUTSIDE THE LIMITS OF THE WORK AREA OR TO WATER BODIES OR WETLANDS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
5. THE CONTRACTOR SHALL PROVIDE BEST MANAGEMENT PRACTICES & IMPLEMENT STRUCTURAL MEASURES AS NEEDED TO PREVENT EROSION & SEDIMENT TRANSPORT FROM THE WORK AREAS. THE FOLLOWING ARE MINIMUM RECOMMENDED GUIDELINES TO BE IMPLEMENTED DURING CONSTRUCTION AS PART OF THE EROSION & SEDIMENT CONTROL PLAN:
 - A. **STOCKPILING OF MATERIAL**
NO EXCAVATED MATERIAL SHALL BE STOCKPILED IN SUCH A MANNER AS TO DIRECT RUNOFF DIRECTLY OFF THE PROJECT SITE OR INTO ANY ADJACENT WATER BODY OR STORMWATER COLLECTION FACILITY.
 - B. **EXPOSED AREA LIMITATION & PROTECTION**
THE SURFACE AREA OF OPEN, RAW ERODIBLE SOIL EXPOSED BY CLEARING & GRUBBING OPERATIONS OR EXCAVATION & FILLING OPERATIONS SHALL BE LIMITED AS NEEDED TO MINIMIZE THE POTENTIAL OF OFF-SITE SEDIMENT TRANSPORT. ALL EXPOSED AREAS SHALL BE PROTECTED BY INSTALLING EFFECTIVE EROSION & SEDIMENT CONTROL MEASURES SUCH AS SILT SCREENS, SYNTHETIC BALES, TURBIDITY BARRIERS, SWALES, OR A COMBINATION OF THESE & OTHER MEASURES AS WARRANTED.
 - C. **INLET PROTECTION**
INLETS & CATCH BASINS SHALL BE PROTECTED DURING CONSTRUCTION FROM SEDIMENT LADEN STORMWATER RUNOFF BY PROVIDING A COMBINATION OF SILT SCREENS, SYNTHETIC BALES, FILTER FABRIC COVERS OR OTHER MEASURES AS NECESSARY TO CONTROL THE TRANSPORT OF SEDIMENT.
 - D. **TEMPORARY GRASSING**
AREAS OPENED BY CONSTRUCTION OPERATIONS THAT ARE NOT ANTICIPATED TO BE DRESSED OR RECEIVE FINAL GRASSING TREATMENT WITHIN THIRTY DAYS SHALL BE SEEDED WITH A QUICK GROWING GRASS SPECIES WHICH WILL PROVIDE AN EARLY COVER DURING THE SEASON IN WHICH IT IS PLANTED. TEMPORARY SEEDING SHALL BE CONTROLLED AS TO NOT ALTER OR COMPETE WITH PERMANENT GRASSING. SLOPES STEEPER THAN 6:1 SHALL ADDITIONALLY RECEIVE MULCHING OF APPROXIMATELY 2 INCHES OF LOOSE MEASURE OF MULCH MATERIAL CUT INTO THE SOIL OF THE SEEDED AREA TO A DEPTH OF 4 INCHES. THE SEEDED OR SEEDED & MULCHED AREAS SHALL BE ROLLED & WATERED AS NEEDED TO ENSURE OPTIMUM GROWING CONDITIONS FOR THE ESTABLISHMENT OF A GOOD GRASS COVER. IF AFTER 14 DAYS, THE TEMPORARY GRASSED AREAS HAVE NOT ATTAINED A MINIMUM OF 75% OF GOOD GRASS COVER, THE AREAS WILL BE REWORKED & ADDITIONAL SEED APPLIED TO ESTABLISH THE DESIRED VEGETATION COVER. REWORKED & ADDITIONAL SEED APPLIED.
 - E. **MAINTENANCE**
EROSION & SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED DURING THE ENTIRE DURATION OF CONSTRUCTION. THE CONTRACTOR SHALL INSPECT THE EROSION & CONTROL MEASURES ON A WEEKLY BASIS & 24 HOURS FOLLOWING RAINFALL EVENTS (0.5" OR GREATER) & IMMEDIATELY REPAIR ANY OBSERVED DAMAGED CONTROLS. ALL EROSION & SEDIMENT CONTROLS SHALL BE MAINTAINED AS TO FUNCTION PROPERLY WITHOUT THE TRANSPORT OF SEDIMENTS OUTSIDE THE LIMITS OF THE PROJECT.
6. APPROXIMATE SLOPES AFTER MAJOR GRADING VARIES BETWEEN ~~1%~~ TO ~~1.5%~~.
7. AREAS OF SOILS DISTURBANCE IS LIMITED TO THE AREA WITHIN THE SILT FENCE LIMITS AS SHOWN ON THIS PLAN.
8. ALL PERVIOUS AREAS WILL BE SODDED, UNLESS OTHERWISE NOTED.
9. NO WETLANDS & SURFACE WATERS EXIST ON THIS PROJECT.

CITY OF WINTER GARDEN REQUIREMENTS:

1. ANY DAMAGED, BROKEN OR CRACKED CURBS SHALL BE REPLACED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
2. A SEPARATE TREE REMOVE PERMIT IS REQUIRED.
3. SITE CONSTRUCTION SHALL ADHERE TO THE CITY OF WINTER GARDEN EROSION AND SEDIMENT CONTROL REQUIREMENTS AS CONTAINED IN CHAPTER 106 (STORMWATER)

DEMOLITION NOTES

1. THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF EXISTING UTILITIES & OTHER FEATURES ARE SHOWN ON THE PLANS ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS, ELEVATIONS, & DIMENSIONS OF ALL EXISTING UTILITIES & OTHER FEATURES AFFECTING THE WORK PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY FEG OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROPOSED WORK.
2. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES BEFORE EXCAVATION.
3. THE CONTRACTOR SHALL, PRIOR TO INITIATION OF ANY SITE CLEARING OR OTHER CONSTRUCTION ACTIVITIES, INSTALL SILT SCREENS DOWNSTREAM OF ALL AREAS WHICH HAVE POTENTIAL OF EROSION OR SEDIMENT TRANSPORT OFFSITE OR TO WATER BODIES. THE CONTRACTOR SHALL IMPLEMENT OTHER STRUCTURAL EROSION CONTROL MEASURES IF REQUIRED TO PREVENT SEDIMENT TRANSPORT TO OFF-SITE AREAS & WATER BODIES.
4. ALL TRASH, DEBRIS, & OTHER MATERIAL REMOVED FROM THE SITE SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE, & FEDERAL REGULATIONS.
5. ANY EXCAVATED TRENCHES ARE TO BE BACKFILLED WITH CLEAN SAND COMPACTED TO AT LEAST 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY VALUE (AASHTO T-180). REFER TO GEOTECHNICAL REPORT FOR SPECIFIC COMPACTION REQUIREMENTS UNDER BUILDING & OTHER STRUCTURES.
6. ALL EXISTING CONCRETE TO BE REMOVED SHALL BE SAWCUT & REMOVED @ THE FIRST AVAILABLE GOOD JOINT & REPLACED TO MATCH EXISTING.
7. THE CONTRACTOR SHALL CONTACT THE GAS UTILITY FOR LOCATION BEFORE EXCAVATION. CHAPTER 17-153 F.S. REQUIRES THAT AN EXCAVATOR NOTIFIES ALL GAS UTILITIES AT LEAST TWO DAYS PRIOR TO EXCAVATING. ALSO CALL 1-800-432-4770 FOR SUNSHINE LOCATES. F.S. 556.101 THROUGH 111.
8. CONTRACTOR TO PROVIDE TREE PROTECTION AS REQUIRED BY THE LOCAL JURISDICTION.

SOIL TRACKING PREVENTION

1. A SOIL TRACKING PREVENTION DEVICE (STPD) SHALL BE CONSTRUCTED AT THE LOCATION SHOWN ON THE PLANS. TRAFFIC FROM UNSTABILIZED AREAS OF CONSTRUCTION SHALL BE DIRECTED THRU THE STPD BARRIER. FLAGGING OR OTHER POSITIVE MEANS SHALL BE USED AS REQUIRED TO LIMIT & DIRECT VEHICULAR EGRESS ACROSS THE STPD.
2. THE CONTRACTOR MAY PROPOSE AN ALTERNATIVE TECHNIQUE TO MINIMIZE OFFSITE TRACKING OF SEDIMENT. THE ALTERNATIVE MUST BE REVIEWED & APPROVED BY THE ENGINEER &/OR ORANGE COUNTY PRIOR TO ITS USE.
3. ALL MATERIALS SPILLED, DROPPED, OR TRACKED ONTO PUBLIC ROADS (INCLUDING THE STPD AGGREGATE & CONSTRUCTION MUD) SHALL BE REMOVED DAILY, OR MORE FREQUENTLY IF SO DIRECTED BY THE ENGINEER &/OR ORANGE COUNTY.
4. AGGREGATES SHALL BE AS DESCRIBED IN SECTION 901 EXCLUDING 901-2.3. AGGREGATES SHALL BE FDOT SIZE #1. IF THIS SIZE IS NOT AVAILABLE, THE NEXT AVAILABLE SMALLER SIZE AGGREGATE MAY BE SUBSTITUTED WITH THE APPROVAL OF THE ENGINEER. SIZES CONTAINING EXCESSIVE SMALL AGGREGATE WILL TRACK OFF THE PROJECT & ARE UNSUITABLE.
5. THE STPD SHALL BE MAINTAINED IN A CONDITION THAT WILL ALLOW IT TO PERFORM ITS FUNCTION. TO PREVENT OFFSITE TRACKING, THE STPD SHALL BE RINSED (DAILY WHEN IN USE) TO MOVE ACCUMULATED MUD DOWNWARD THRU THE STONE. ADDITIONAL STABILIZATION OF THE VEHICULAR ROUTE LEADING TO THE STPD MAY BE REQUIRED TO LIMIT THE MUD TRACKED.

EROSION CONTROLS FOR NON STORMWATER DISCHARGES:

A) WASTE DISPOSAL:

WASTE MATERIAL:
ALL WASTE MATERIAL WILL BE COLLECTED AND STORED IN A METAL DUMPSTER WHICH WILL BE MAINTAINED BY A LICENSED SOLID WASTE MANAGEMENT COMPANY IN ORANGE COUNTY. THE DUMPSTER WILL MEET ALL LOCAL, STATE AND FEDERAL REGULATIONS. ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN THE DUMPSTER. THE DUMPSTER WILL BE EMPTIED AS OFTEN AS NECESSARY TO NOT CAUSE ON-SITE DISPOSAL OF WASTE. THE TRASH WILL BE HAULED TO AN APPROVED ORANGE COUNTY LANDFILL. NO CONSTRUCTION WASTE WILL BE BURIED ONSITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE SUPERINTENDENT CONSTRUCTION TRAILER. THE INDIVIDUAL RESPONSIBLE FOR MANAGING THIS TASK WILL BE IDENTIFIED BY THE CONTRACTOR.

HAZARDOUS WASTE:

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN ACCORDANCE WITH THE APPLICABLE LOCAL, STATE & FEDERAL REGULATIONS. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR HAZARDOUS WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED AT THE SUPERINTENDENT CONSTRUCTION TRAILER. THE INDIVIDUAL RESPONSIBLE FOR MANAGING THIS TASK WILL BE IDENTIFIED BY THE CONTRACTOR.

SANITARY WASTE:

ALL SANITARY WASTE WILL BE COLLECTED FROM THE PORTABLE UNITS A MINIMUM OF THREE TIMES PER WEEK BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR AS REQUIRED BY LOCAL REGULATION.

B) OFFSITE VEHICLE TRACKING:

A GRAVEL CONSTRUCTION ENTRANCE HAS BEEN PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. THE PAVED STREET ADJACENT TO THE SITE ENTRANCE WILL BE SWEEPED DAILY TO REMOVE ANY EXCESS MUD, DIRT OR ROCK TRACKED FROM THE SITE. DUMP TRUCKS HAULING MATERIAL FROM THE CONSTRUCTION SITE WILL BE COVERED WITH A TARPULIN.

DUST CONTROL:

1. THE CONTRACTOR SHALL CONTROL DUST BY WATERING DOWN THE SITE AS REQUIRED. POTABLE WATER EXISTS AT THE SITE.



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RESSURECTION CATHOLIC CHURCH
1211 WINTER GARDEN VINELAND ROAD
WINTER GARDEN, FLORIDA

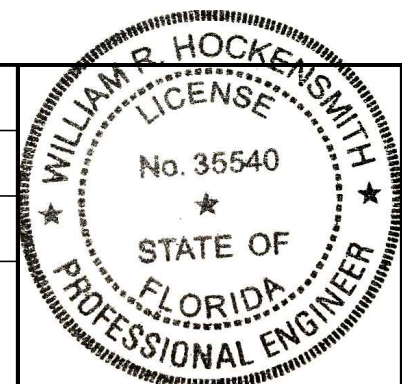


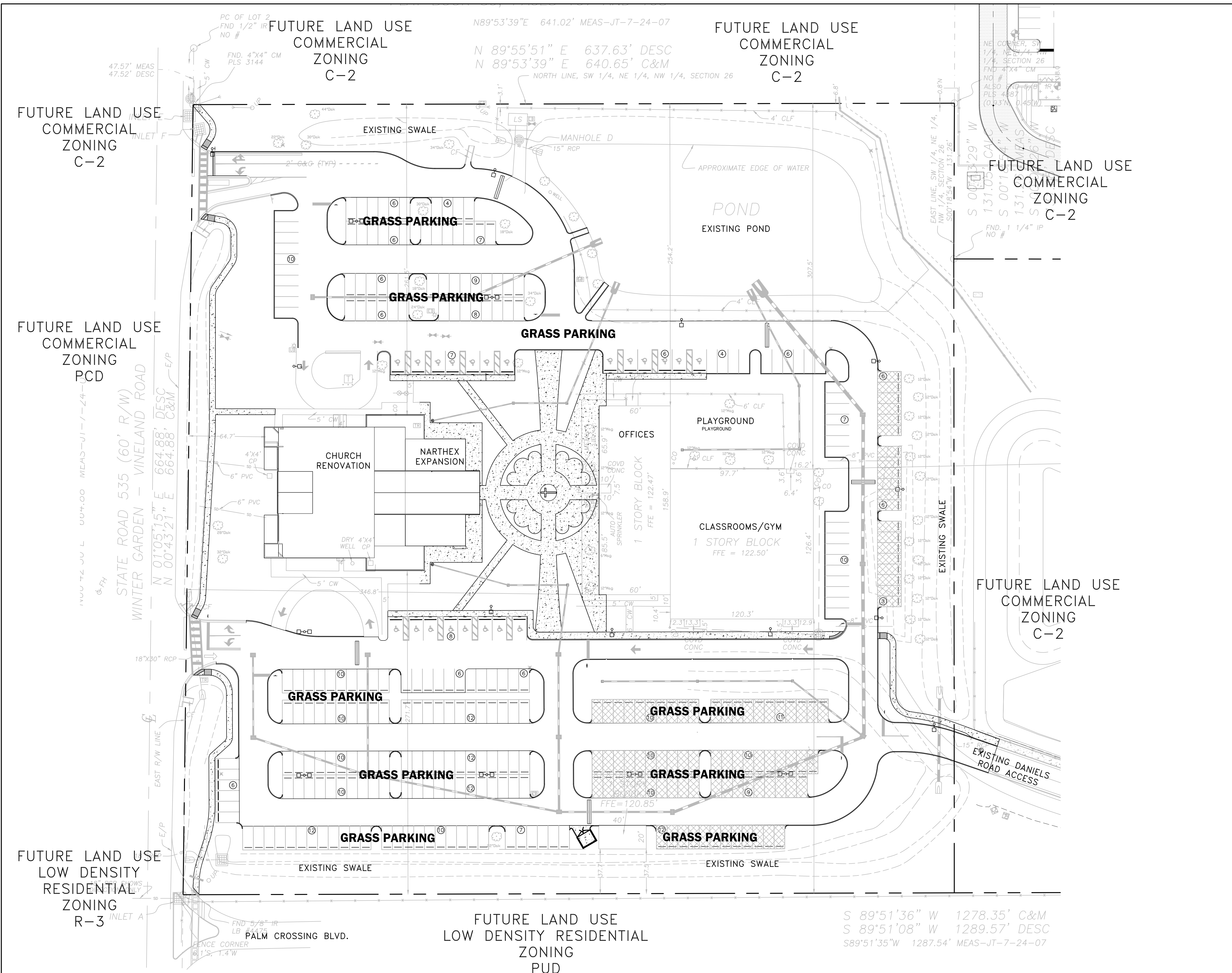
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SITE DEMOLITION & STORMWATER POLLUTION PREVENTION PLAN

DESIGNED BY WRH	DRAWN BY CRR	CHECKED BY WRH	APPROVED BY WRH
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PROJECT NO.	
SCALE	
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SHEET NO.	
SHEET	





SITE DATA
 PROPERTY LOCATION: 1211 WINTER GARDEN VINELAND ROAD WINTER GARDEN, FL 34787
 PROPERTY FUTURE LAND USE DESIGNATION: COM
 PROPERTY ZONING: C-2
 EXISTING USE: CHURCH
 PROPOSED USE: CHURCH
 PROJECT AREA: 9.84 ACRES

EXISTING BUILDINGS: 39,040 S.F.
 PROPOSED EXPANSION: 4,470 S.F.
 PROPOSED BUILDING FLOOR AREA: 43,510 S.F.

ALLOWABLE FLOOR AREA: 0.35
 PROPOSED FLOOR AREA: 0.10

BUILDING SETBACKS (REQUIRED)		BUILDING SETBACKS (PROPOSED)	
FRONT (WEST)	40'	FRONT (WEST)	64'
SIDE (NORTH)	0'	SIDE (NORTH)	254'
SIDE (SOUTH)	0'	SIDE (SOUTH)	230'
REAR (EAST)	0'	REAR (EAST)	118.48'

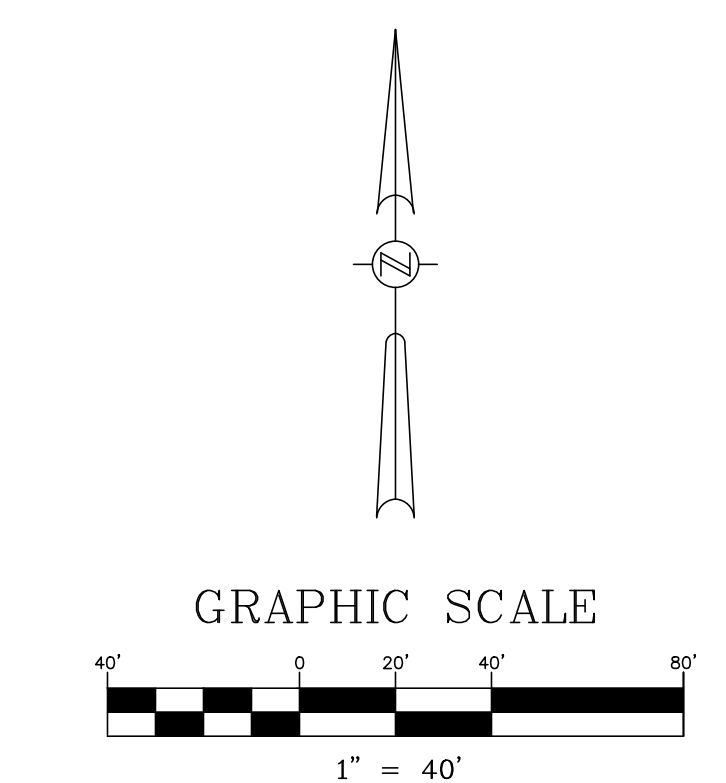
PARKING	
EXISTING CHURCH	630 SEATS
PROPOSED CHURCH	800 SEATS
PARKING REQUIRED	
CHURCH	800 SEATS x (1 SPACE PER 3 SEATS) = 267 SPACES
TOTAL PARKING REQUIRED	267 SPACES
SPACES REQUIRED TO BE RESERVED FOR HANDICAP	7 SPACES
PARKING PROVIDED	
GRASS PARKING SPACES	261 SPACES
STANDARD PARKING SPACES	43 SPACES
HANDICAP PARKING	21 SPACES
TOTAL PARKING PROVIDED	325 SPACES

SITE AREA CALCULATIONS			
	EXISTING	PHASE 1	FUTURE
CHURCH	13,666 S.F.	13,666 S.F.	18,136 S.F.
OFFICE/SCHOOL	24,574 S.F.	24,574 S.F.	24,574 S.F.
MAINTENANCE BUILDING	800 S.F.	800 S.F.	800 S.F.
STORAGE SHEDS	1,057 S.F.	0 S.F.	0 S.F.
SIDEWALK/COURTYARD	10,869 S.F.	19,302 S.F.	27,896 S.F.
PAVERS	3,156 S.F.	0 S.F.	0 S.F.
PAVEMENT	101,410 S.F.	101,972 S.F.	101,972 S.F.
IMPERVIOUS AREA	155,532 S.F.	160,044 S.F.	173,378 S.F.
WET POND AT WATER ELEVATION	29,421 S.F.	29,421 S.F.	29,421 S.F.
PERVIOUS AREA	243,650 S.F.	239,138 S.F.	225,804 S.F.
TOTAL SITE AREA	428,603 S.F.	428,603 S.F.	428,603 S.F.

MAXIMUM IMPERVIOUS COVER ALLOWED (2007 SJRWMD PERMIT): 4.13 AC
 IMPERVIOUS COVER PROPOSED: 4.0 AC

FLOOD ZONE
 FLOOD ZONE A & X PER FEMA F.I.R.M. PANEL 12095C0215H DATED: 9/24/2021.

- SITE NOTES**
- ALL CURB RADII ARE TO BE 5.0'. TYPICAL, UNLESS NOTED OTHERWISE. EXCEPTION: RADII @ ISLANDS ARE TO FIT ISLAND WIDTHS, UNLESS NOTED OTHERWISE.
 - LANDSCAPE ISLAND NOSE NOT TO EXCEED THE PARKING STALL DEPTH &/OR PROTRUDE INTO DRIVE ISLES, TYPICAL.
 - LOWER CASE TEXT DENOTES SURVEY &/OR EXISTING CONDITION INFORMATION.



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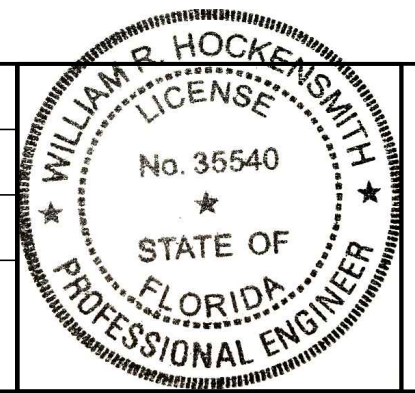
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 WINTER GARDEN, FLORIDA

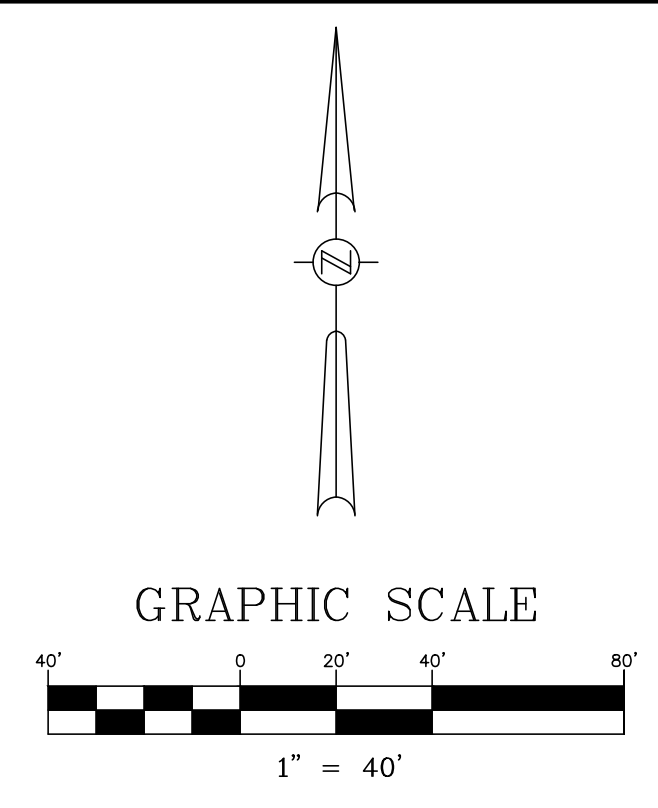
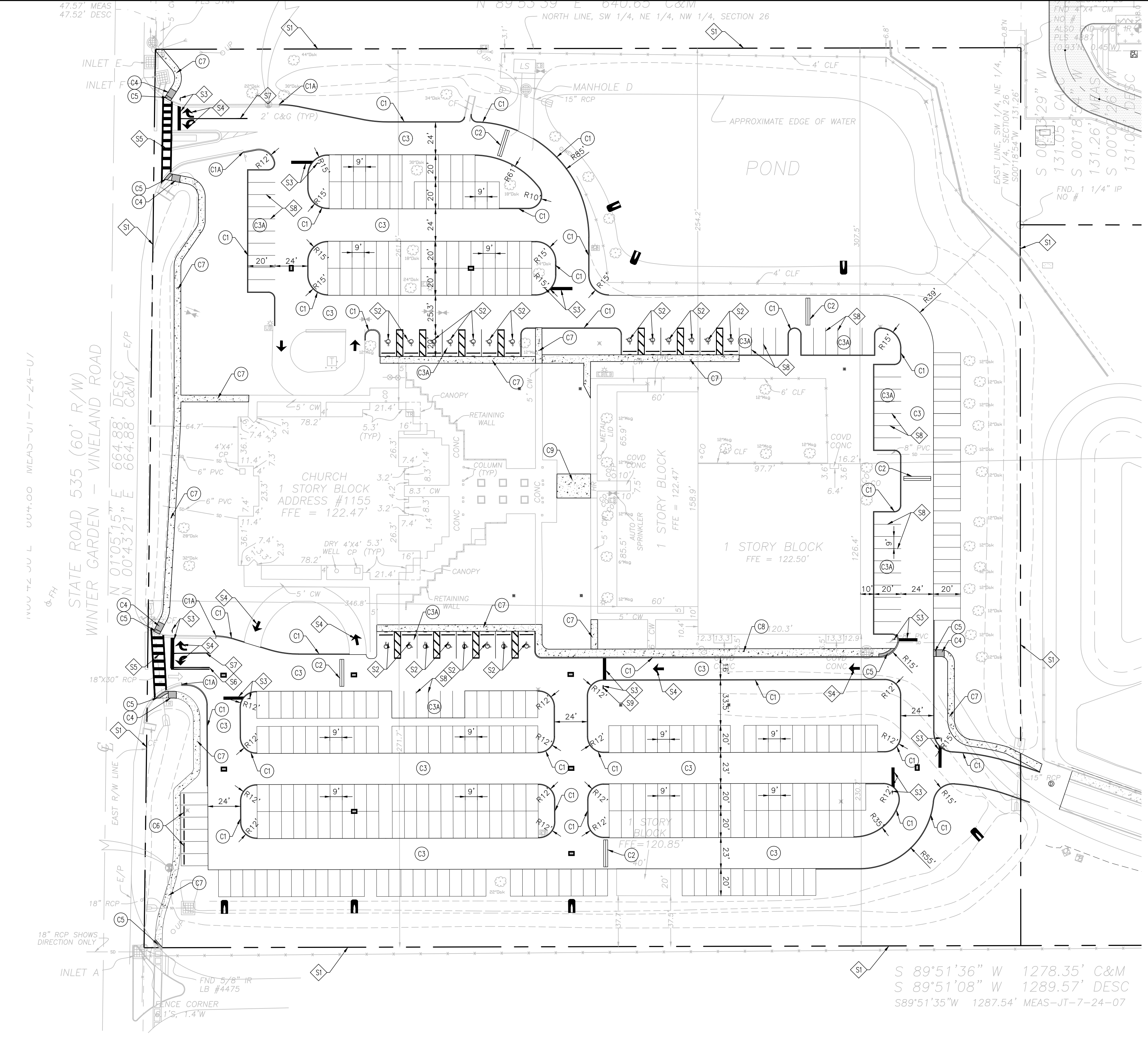


5127 S. Orange Avenue, Suite 200
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 Fax: 407-895-0325
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OVERALL SITE PLAN			
DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
WRH	CRR	WRH	WRH

PROJECT NO.	
SCALE	
DATE	MARCH 31, 2025
SHEET NO.	
SHEET	





Ⓢ SITE CONSTRUCTION KEYNOTES

- C1. 6" HEAD CURB, TYPICAL
- C1A. CONNECT TO EXISTING CURB
- C2. SPEED BUMP
- C3. HEAVY-DUTY ASPHALT PAVEMENT. (DRIVE AISLES)
- C3A. LIGHT-DUTY ASPHALT PAVEMENT. (PARKING STALLS)
- C4. HANDICAP ACCESS RAMP WITH A MAXIMUM 12:1 SLOPE, TYPICAL.
- C5. DETECTABLE WARNING SURFACE PER FLORIDA BUILDING CODE
- C6. CONCRETE WHEEL STOPS
- C7. 5' CONCRETE SIDEWALK
- C8. 6' CONCRETE SIDEWALK
- C9. COURTYARD DESIGN PER ARCHITECTURAL PLAN
- C10. DUMPSTER ENCLOSURE WITH CONCRETE APPROACH PAD
- C11. ELECTRICAL TO REMAIN
- C12. GRASS PARKING WITH COMPACTED BASE

Ⓢ SITE STRIPING & SIGNAGE KEYNOTES

- S1. PROPERTY BOUNDARY.
- S2. HANDICAP PARKING STALL AND SIGN, TYPICAL.
- S3. 24" THERMOPLASTIC STOP BAR WITH R1-1 HIGH INTENSITY REFLECTORIZED "STOP" SIGN, TYPICAL.
- S4. DIRECTION ARROWS PER F.D.O.T. STD PLANS No. 711-001, TYPICAL.
- S5. CROSSWALK STRIPING PER F.D.O.T. STD PLANS No. 711-001, TYPICAL.
- S6. 6" DOUBLE YELLOW LINE (THERMOPLASTIC).
- S7. 6" SOLID WHITE LINE (THERMOPLASTIC).
- S8. PARKING STRIPES (6" WHITE PAINT).
- S9. DO NOT ENTER SIGN
- S10. 6" SOLID YELLOW THERMOPLASTIC
- S11. 6" WHITE SKIP STRIPE THERMOPLASTIC

100 74 00 L 004.00 MEAS-JT-7-24-U1
 6-FH
 STATE ROAD 535 (60' R/W)
 WINTER GARDEN - VINELAND ROAD

DATE	REVISIONS	BY	CHECKED
1/13/2026	3 PER CITY COMMENTS RECEIVED 1/12/2026	WRH	WRH
10/31/2025	2 PER CITY COMMENTS DATED 6/12/2025	WRH	WRH
10/31/2025	1 PER SJRWMD COMMENTS DATED 5/21/2025	WRH	WRH

CONSTRUCTION PLANS
RESSURECTION CATHOLIC CHURCH
1211 WINTER GARDEN VINELAND ROAD
WINTER GARDEN, FLORIDA

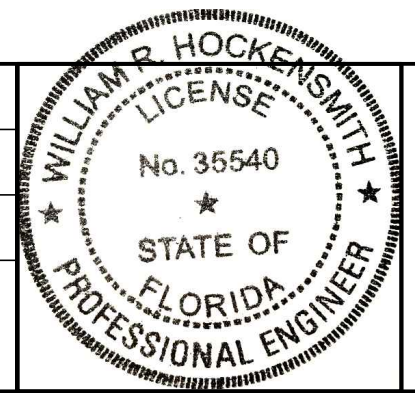


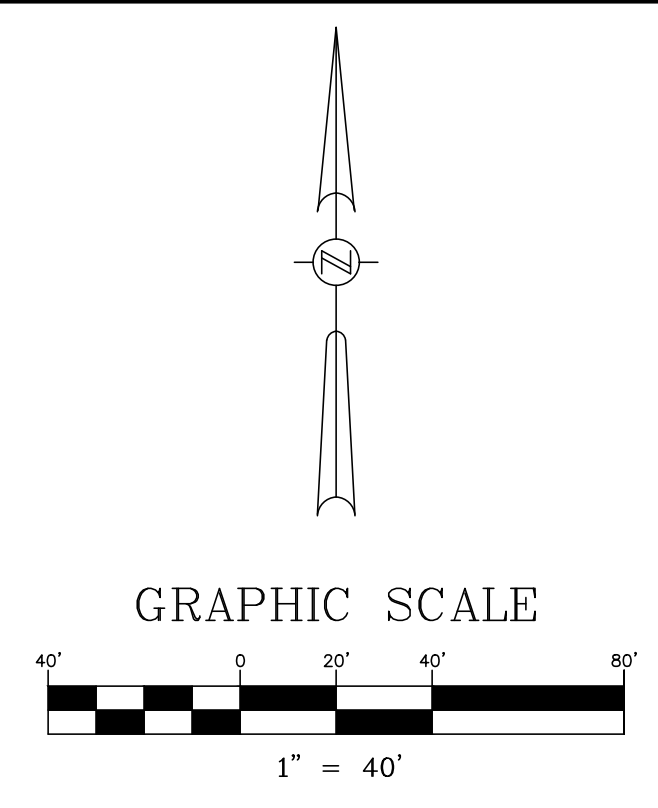
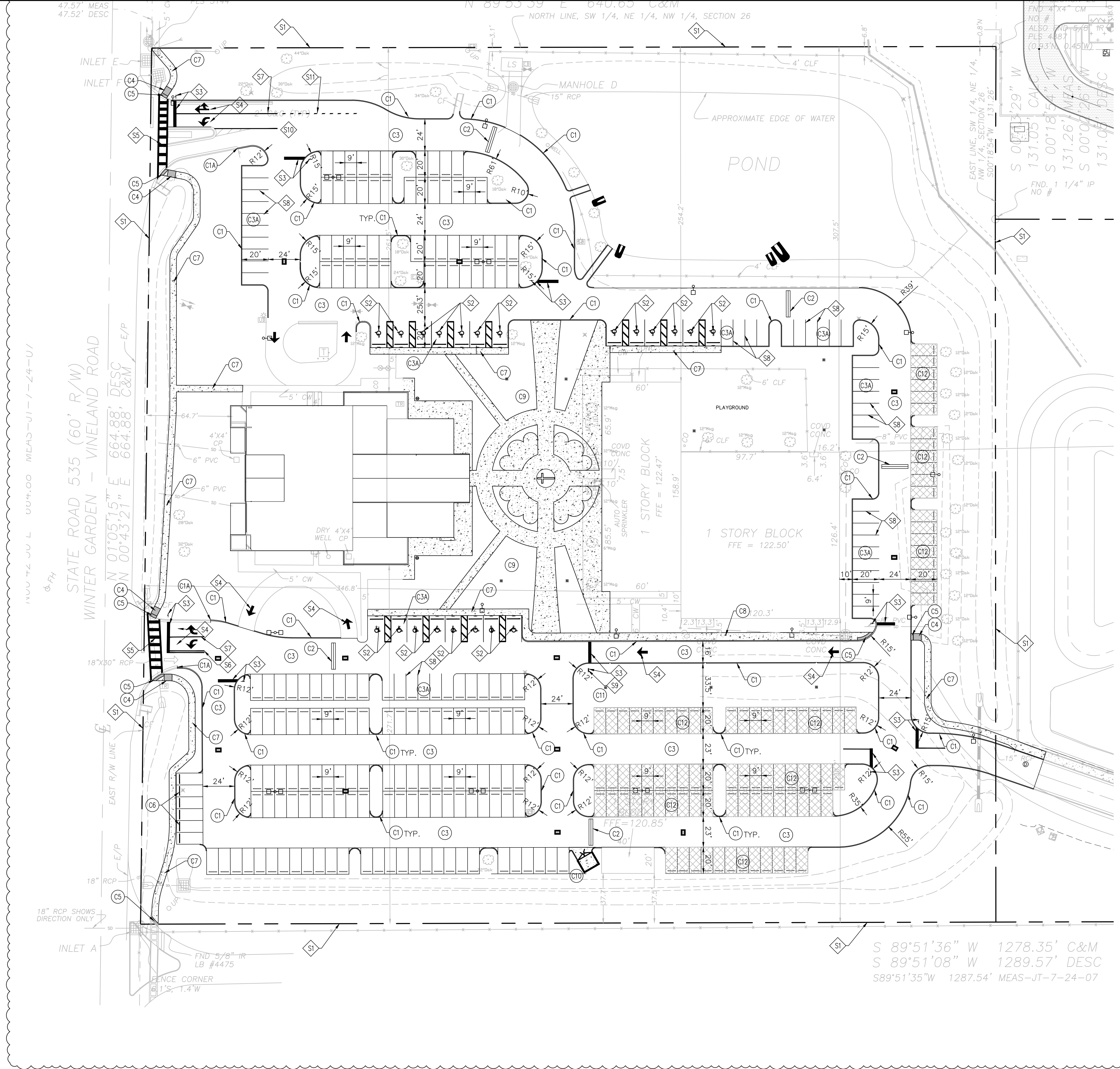
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SITE GEOMETRY PLAN PHASE 1

DESIGNED BY WRH	DRAWN BY CRR	CHECKED BY WRH	APPROVED BY WRH
--------------------	-----------------	-------------------	--------------------

PROJECT NO.	
SCALE	
DATE	MARCH 31, 2025
SHEET NO.	
SHEET	





SITE CONSTRUCTION KEYNOTES

- C1. 6" HEAD CURB, TYPICAL
- C1A. CONNECT TO EXISTING CURB
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SITE STRIPING & SIGNAGE KEYNOTES

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- S10. 6" SOLID YELLOW THERMOPLASTIC
- S11. 6" WHITE SKIP STRIPE THERMOPLASTIC

S 89°51'36" W 1278.35' C&M
 S 89°51'08" W 1289.57' DESC
 S89°51'35"W 1287.54' MEAS-JT-7-24-07

DATE	REVISIONS	BY	CHECKED
1/13/2026	3 PER CITY COMMENTS RECEIVED 1/12/2026	WRH	WRH
10/31/2025	2 PER CITY COMMENTS DATED 6/12/2025	WRH	WRH
10/31/2025	1 PER SJRWMD COMMENTS DATED 5/21/2025	WRH	WRH

CONSTRUCTION PLANS
RESSURECTION CATHOLIC CHURCH
1211 WINTER GARDEN VINELAND ROAD
WINTER GARDEN, FLORIDA

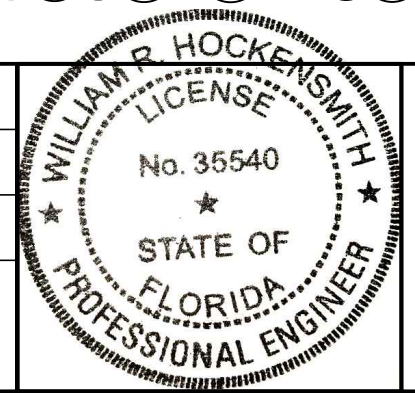


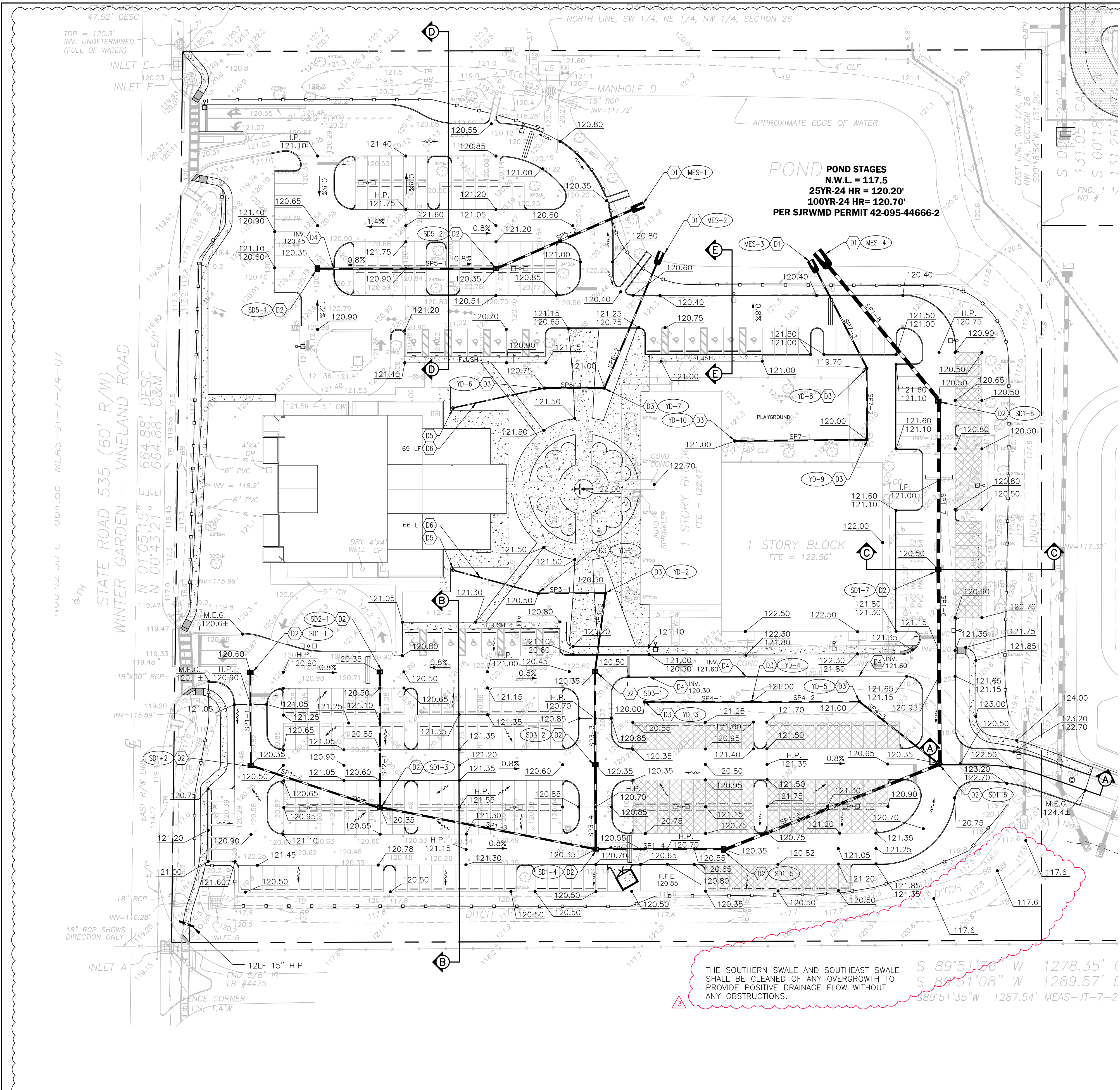
5127 S. Orange Avenue, Suite 200
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 Fax: 407-895-0325
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SITE GEOMETRY PLAN

DESIGNED BY WRH	DRAWN BY CRR	CHECKED BY WRH	APPROVED BY WRH
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PROJECT NO.	
SCALE	
DATE	MARCH 31, 2025
SHEET NO.	
SHEET	





SITE DRAINAGE KEYNOTES

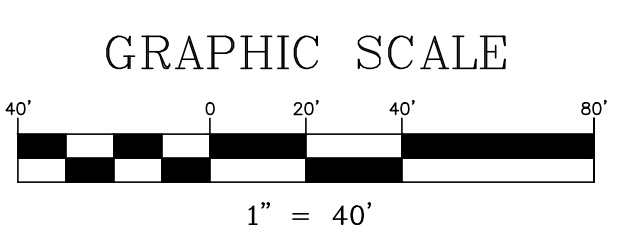
- D1. MITERED END SECTION PER F.D.O.T. INDEX 430-022, TYPICAL.
- D2. TYPE "C" INLET PER F.D.O.T. INDEX 425-052, TYPICAL.
- D3. 12" ADS YARD DRAIN
- D4. 18" WIDE SLOT IN CURB
- D5. ROOF DRAINS, COORDINATE WITH ARCHITECTURAL PLANS.
- D6. 12" PVC ROOF DRAIN @ 0.5%.
- D7. CLEAN DITCH

A CROSS SECTIONS

1. SECTIONS NOT SHOWN ON THIS SHEET ARE LOCATED ON SHEET C-10 AND SUBSEQUENT SHEETS.

DRAINAGE STRUCTURE LEGEND

SD1-1 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.60 INV. ELEV. 116.31 S	SD1-2 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 116.10 N	SD1-3 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 116.10 E	SD1-4 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 115.80 W
SD1-5 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 114.27 W	SD1-6 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 113.75 SW	SD1-7 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 112.81 N	SD1-8 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.50 INV. ELEV. 112.81 N
SD2-1 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 116.10 S	SD3-1 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 115.71 N	SD1-2 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 115.25 S	SD5-1 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 115.25 S
SD5-2 TYPE "C" INLET PER F.D.O.T. INDEX 425-052 TOP ELEV. 120.35 INV. ELEV. 115.85 W	YD-1 ADS YARD DRAIN TOP ELEV. 120.50 INV. ELEV. 116.26 E	YD-2 ADS YARD DRAIN TOP ELEV. 120.50 INV. ELEV. 116.01 W	YD-3 ADS YARD DRAIN TOP ELEV. 120.00 INV. ELEV. 115.93 E
YD-4 ADS YARD DRAIN TOP ELEV. 121.00 INV. ELEV. 115.53 E	YD-5 ADS YARD DRAIN TOP ELEV. 121.00 INV. ELEV. 114.88 SE	YD-6 ADS YARD DRAIN TOP ELEV. 120.75 INV. ELEV. 116.03 W	YD-7 ADS YARD DRAIN TOP ELEV. 121.00 INV. ELEV. 115.80 W
YD-8 ADS YARD DRAIN TOP ELEV. 119.70 INV. ELEV. 115.46 S	YD-9 ADS YARD DRAIN TOP ELEV. 120.00 INV. ELEV. 115.73 W	YD-10 ADS YARD DRAIN TOP ELEV. 121.00 INV. ELEV. 116.23 E	MES-1 MITERED END SECTION PER F.D.O.T. INDEX 430-022 INV. ELEV. 115.00
MES-2 MITERED END SECTION PER F.D.O.T. INDEX 430-022 INV. ELEV. 115.00	MES-3 MITERED END SECTION PER F.D.O.T. INDEX 430-022 INV. ELEV. 115.00	MES-4 MITERED END SECTION PER F.D.O.T. INDEX 430-022 INV. ELEV. 112.00	



STORM DRAINAGE PIPE CHART

DESIGNATION	PIPE			FROM STRUCTURE NUMBER	TO STRUCTURE NUMBER
	LENGTH (LINEAR FEET)	SIZE & TYPE	SLOPE		
SP1-1	70	15" H.P.	0.3%	SD1-1	SD1-2
SP1-2	101	15" H.P.	0.3%	SD1-2	SD1-3
SP1-3	164	18" H.P.	0.3%	SD1-3	SD1-4
SP1-4	95	24" H.P.	0.3%	SD1-4	SD1-5
SP1-5	173	24" H.P.	0.3%	SD1-5	SD1-6
SP1-6	145	30" H.P.	0.3%	SD1-6	SD1-7
SP1-7	126	30" H.P.	0.3%	SD1-7	SD1-8
SP1-8	144	30" H.P.	0.3%	SD1-8	MES-4
SP2-1	101	15" H.P.	0.3%	SD2-1	SD1-3
SP3-1	50	15" P.V.C.	0.5%	YD-1	YD-2
SP3-2	59	15" P.V.C.	0.5%	YD-2	SD3-1
SP3-3	70	18" H.P.	0.3%	SD3-1	SD3-2
SP3-4	63	18" H.P.	0.3%	SD3-2	SD1-4
SP4-1	80	12" P.V.C.	0.5%	YD-3	YD-4
SP4-2	80	12" P.V.C.	0.5%	YD-4	YD-5
SP4-3	75	15" P.V.C.	0.5%	YD-5	SD1-6
SP5-1	133	15" H.P.	0.5%	SD5-1	SD5-2
SP5-2	120	18" H.P.	0.5%	SD5-2	MES-1
SP6-1	45	12" P.V.C.	0.5%	YD-6	YD-7
SP6-2	110	15" P.V.C.	0.5%	YD-7	MES-2
SP7-1	99	12" P.V.C.	0.5%	YD-10	YD-9
SP7-2	53	12" P.V.C.	0.5%	YD-9	YD-8
SP7-3	91	12" P.V.C.	0.5%	YD-8	MES-3

WINTER GARDEN HP PIPE REQUIREMENTS:
HP PIPE SHALL MEET ALL CITY MATERIAL AND INSTALLATION REQUIREMENTS AS SPECIFIED IN CITY STANDARDS AND SPECIFICATIONS INCLUDING CLASS 1 BEDDING, HP PIPE (NOT HDPE N-12) LASER PROFILING, INSTALLATION PER ASTM D2321, ETC.

VERTICAL DATUM: NGVD 29

DATE	REVISIONS	BY	CHECKED
1/13/2026	PER CITY COMMENTS RECEIVED 1/12/2026	WRH	WRH
10/31/2025	PER CITY COMMENTS DATED 6/12/2025	WRH	WRH
10/31/2025	PER SJRWMD COMMENTS DATED 5/21/2025	WRH	WRH

CONSTRUCTION PLANS
RESSURECTION CATHOLIC CHURCH
1211 WINTER GARDEN VINELAND ROAD
WINTER GARDEN, FLORIDA

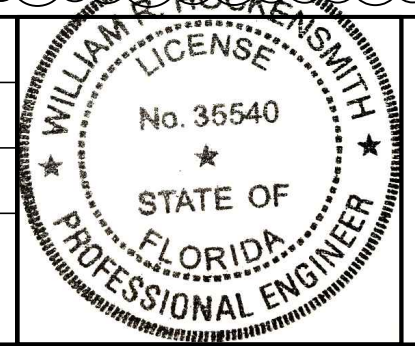


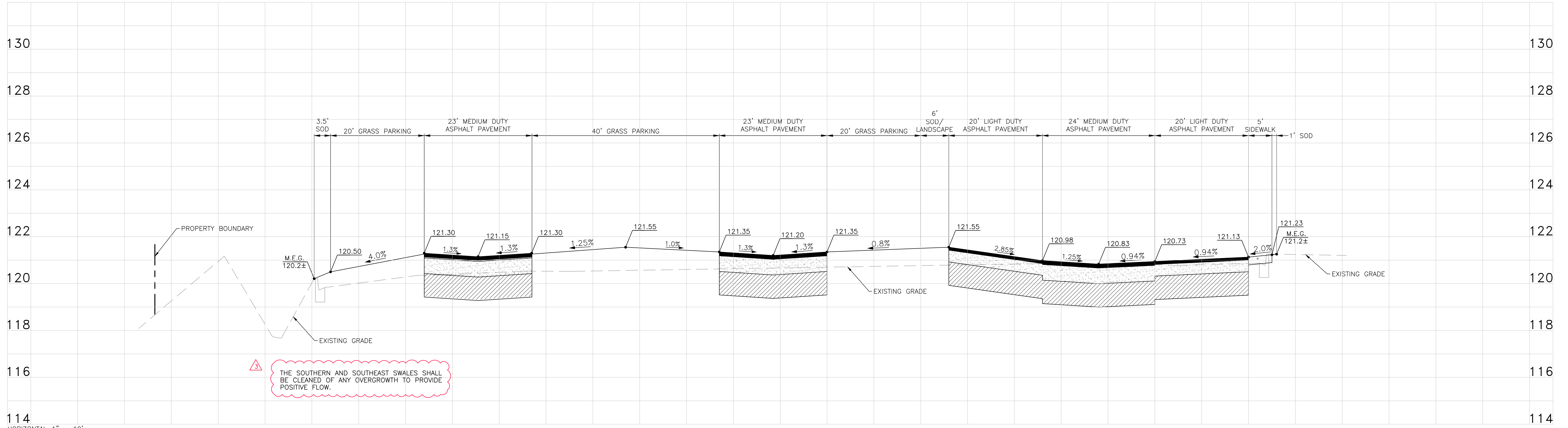
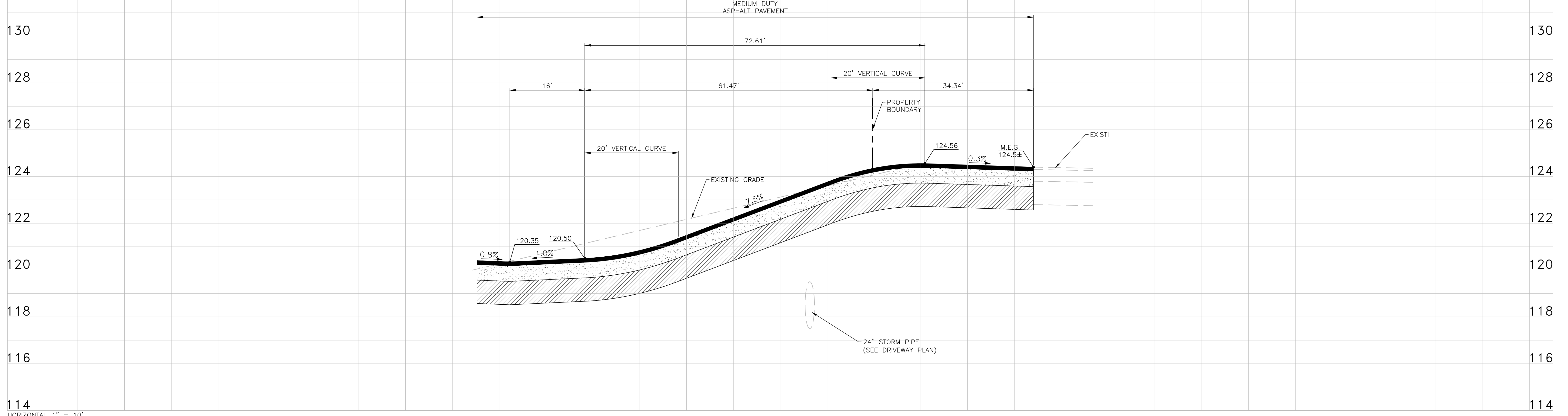
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Fax: 407-895-0325
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SITE PAVING, GRADING & DRAINAGE PLAN

DESIGNED BY WRH	DRAWN BY CRR	CHECKED BY WRH	APPROVED BY WRH
--------------------	-----------------	-------------------	--------------------

PROJECT NO.
SCALE
DATE
MARCH 31, 2025
SHEET NO.
SHEET





VERTICAL DATUM: NGVD 29

1/13/2026	△ PER CITY COMMENTS RECEIVED 1/12/2026	WRH	WRH
10/31/2025	△ PER CITY COMMENTS DATED 6/12/2025	WRH	WRH
10/31/2025	△ PER SJRWMD COMMENTS DATED 5/21/2025	WRH	WRH
	BY	WRH	CHECKED

CONSTRUCTION PLANS
 RESSURECTION CATHOLIC CHURCH
 1211 WINTER GARDEN VINELAND ROAD
 WINTER GARDEN, FLORIDA

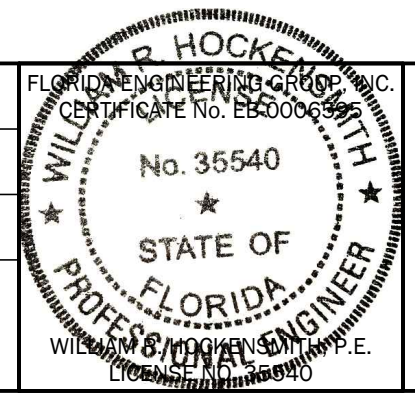


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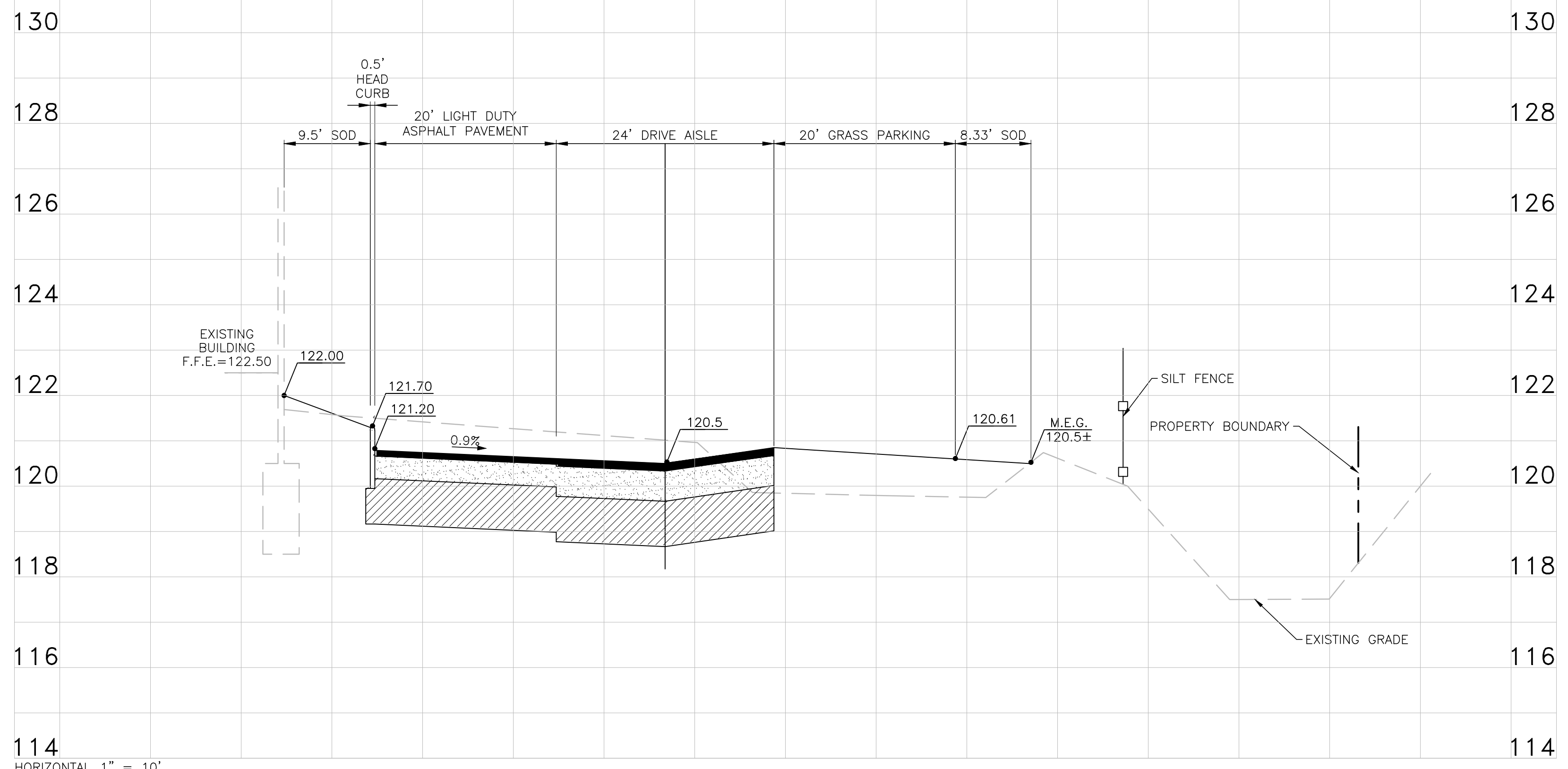
SITE CROSS SECTIONS (1 OF 2)

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
WRH	CRR	WRH	WRH

PROJECT NO.	23-110
SCALE	NOTED
DATE	MARCH 31, 2025
SHEET NO.	C-10
SHEET	10 OF 20

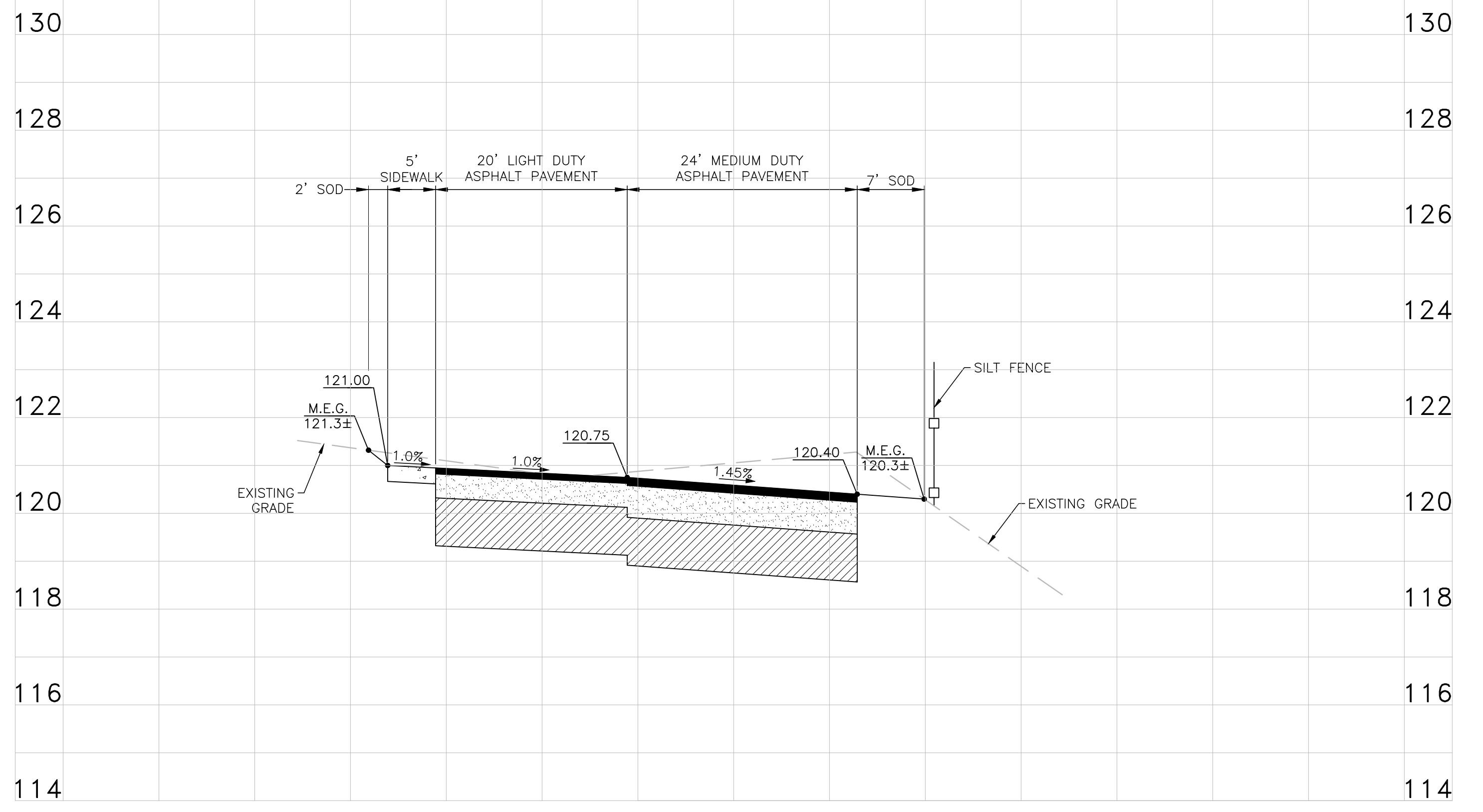


THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY (ENGINEER), P.E. ON (DATE) USING A DIGITAL SIGNATURE.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



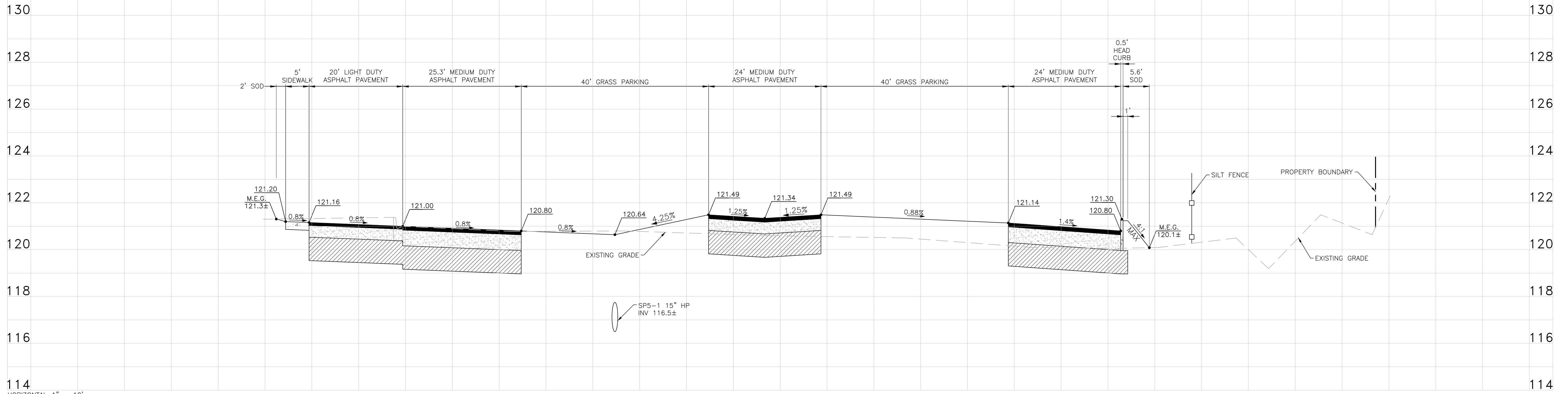
SECTION C-C

114
HORIZONTAL 1" = 10'
VERTICAL 1" = 2'



SECTION E-E

114
HORIZONTAL 1" = 10'
VERTICAL 1" = 2'



SECTION D-D

114
HORIZONTAL 1" = 10'
VERTICAL 1" = 2'

VERTICAL DATUM: NGVD 29

1/13/2026	PER CITY COMMENTS RECEIVED 1/12/2026	WRH	WRH
10/31/2025	PER CITY COMMENTS DATED 6/12/2025	WRH	WRH
10/31/2025	PER SJRWMD COMMENTS DATED 5/21/2025	WRH	WRH
	BY		CHECKED

CONSTRUCTION PLANS
RESSURECTION CATHOLIC CHURCH
1211 WINTER GARDEN VINELAND ROAD
WINTER GARDEN, FLORIDA

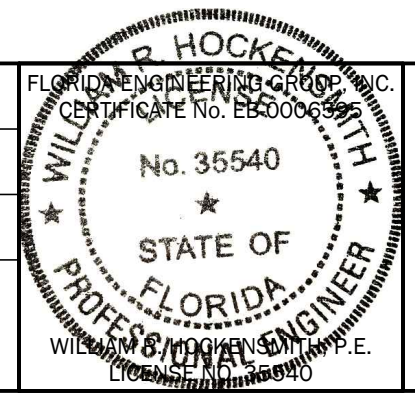


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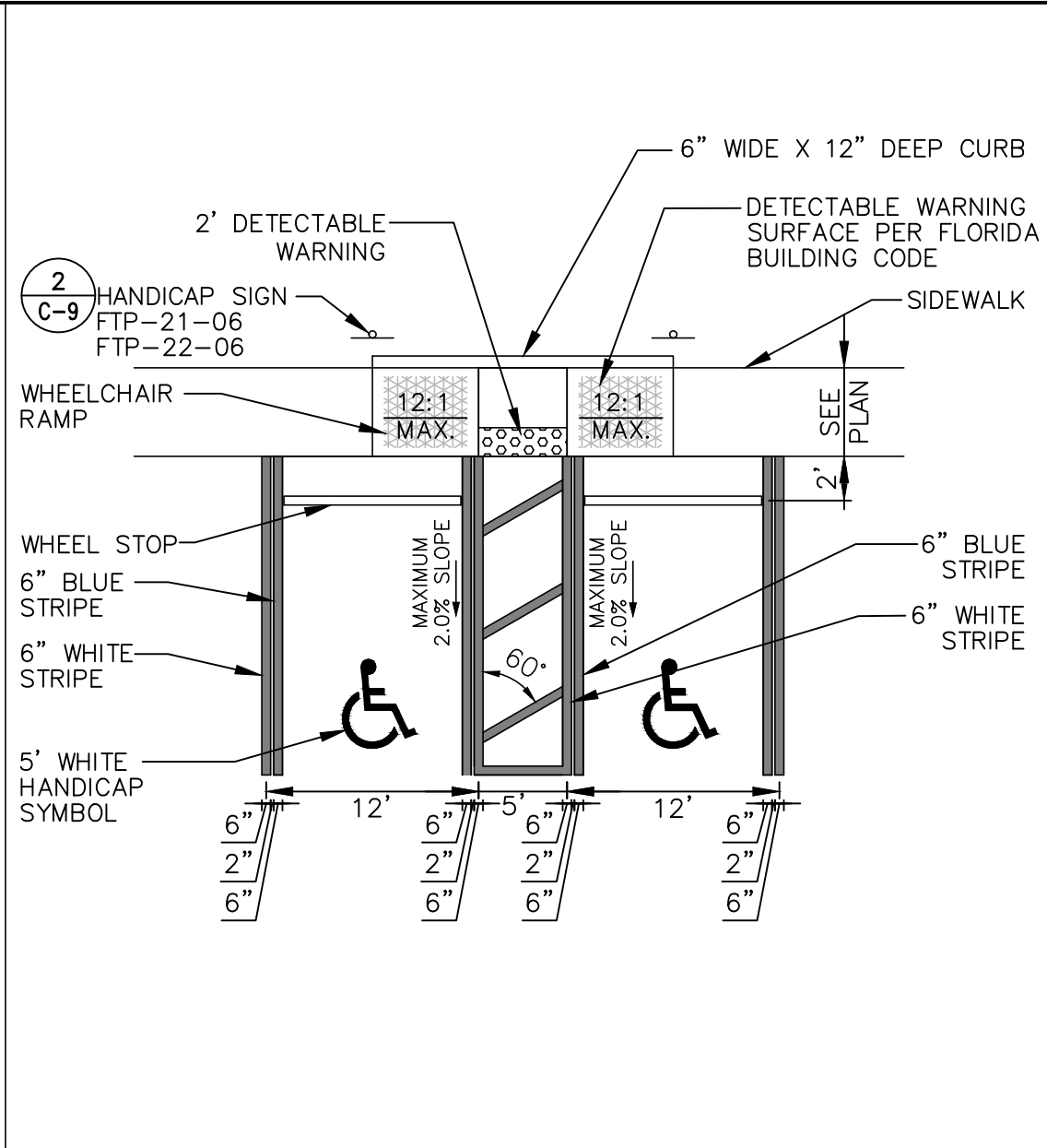
SITE CROSS SECTIONS (1 OF 2)

DESIGNED BY	DRAWN BY	CHECKED BY	APPROVED BY
WRH	CRR	WRH	WRH

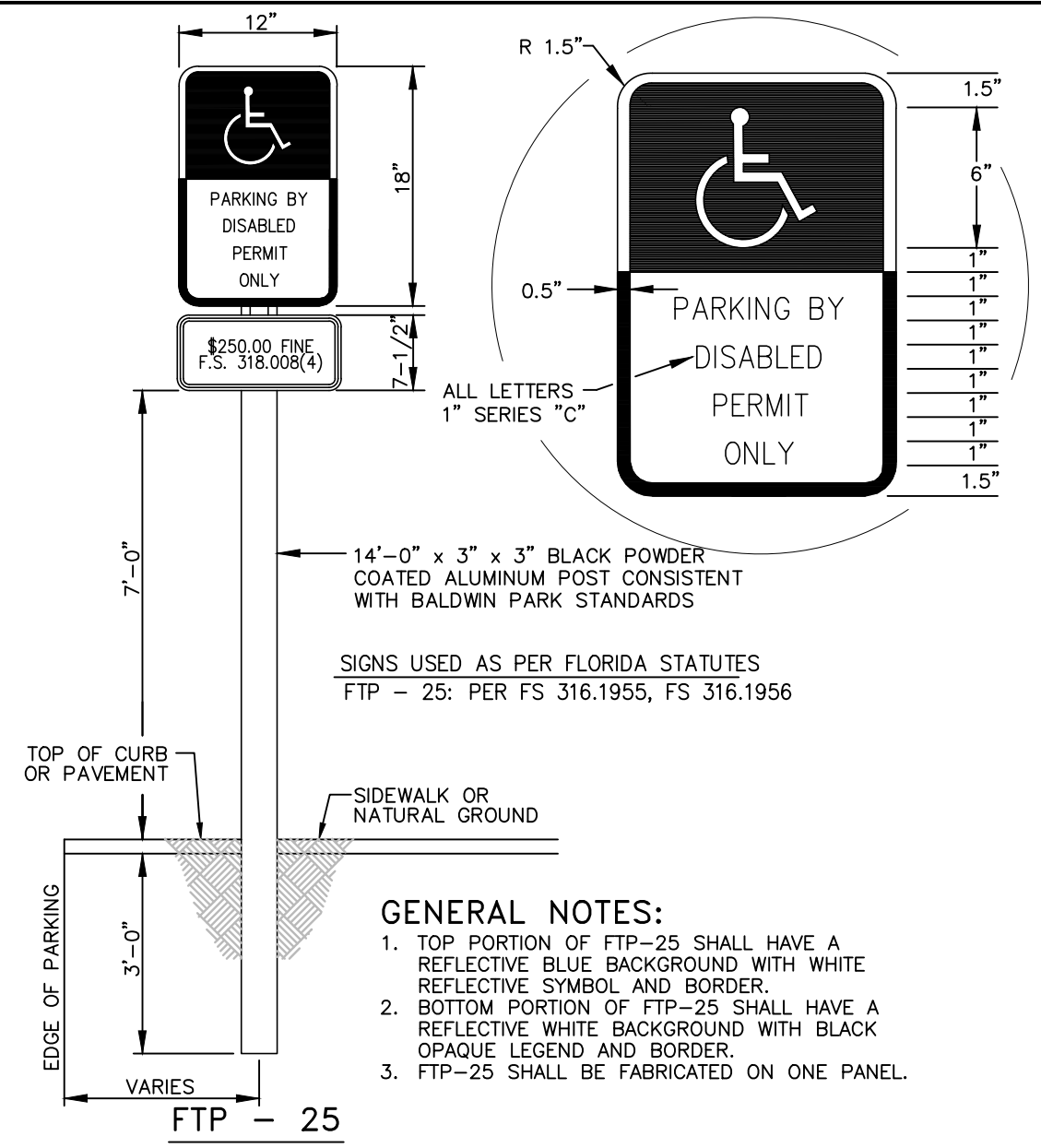
PROJECT NO.	23-110
SCALE	NOTED
DATE	MARCH 31, 2025
SHEET NO.	C-11
SHEET	11 OF 20



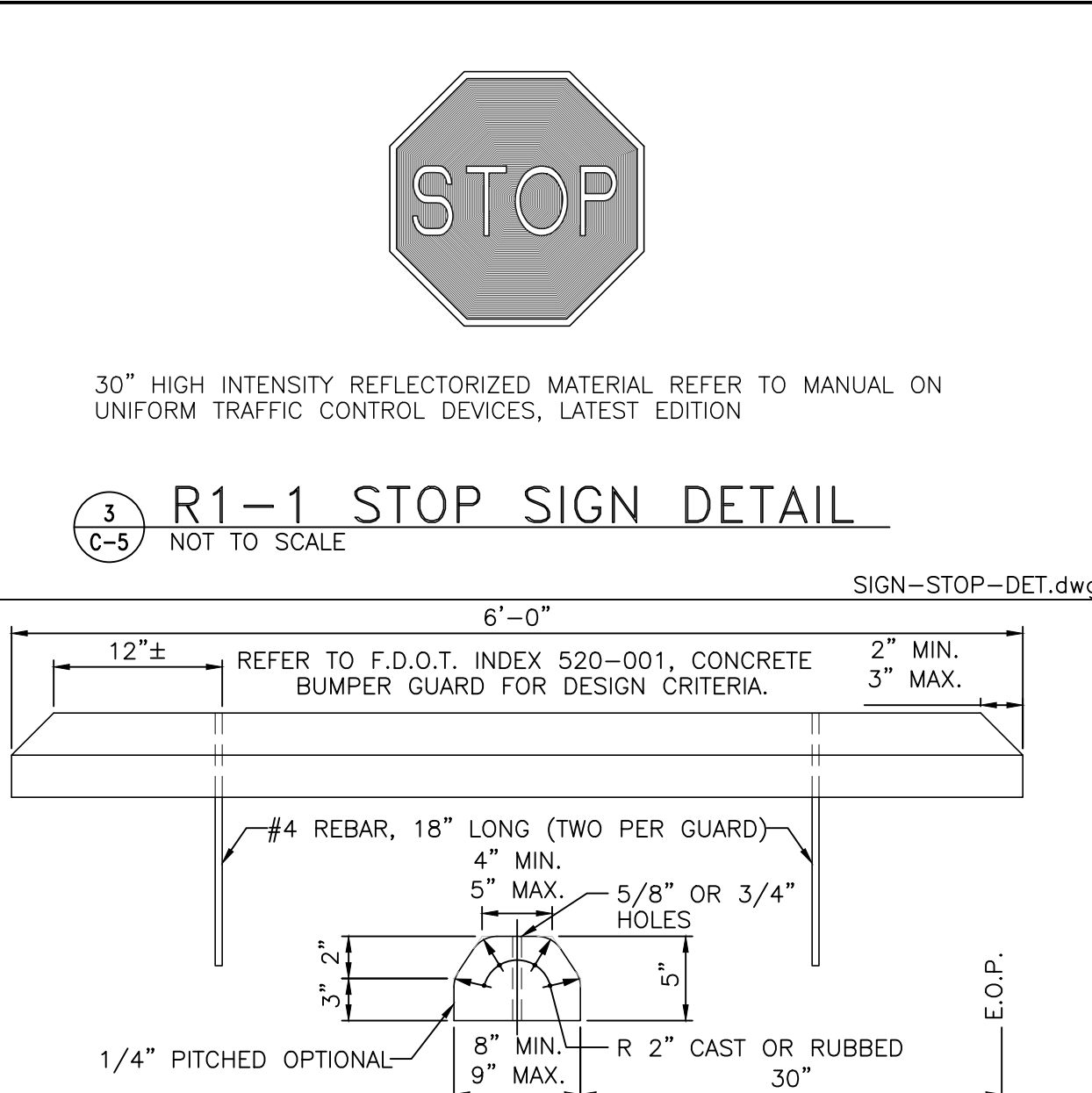
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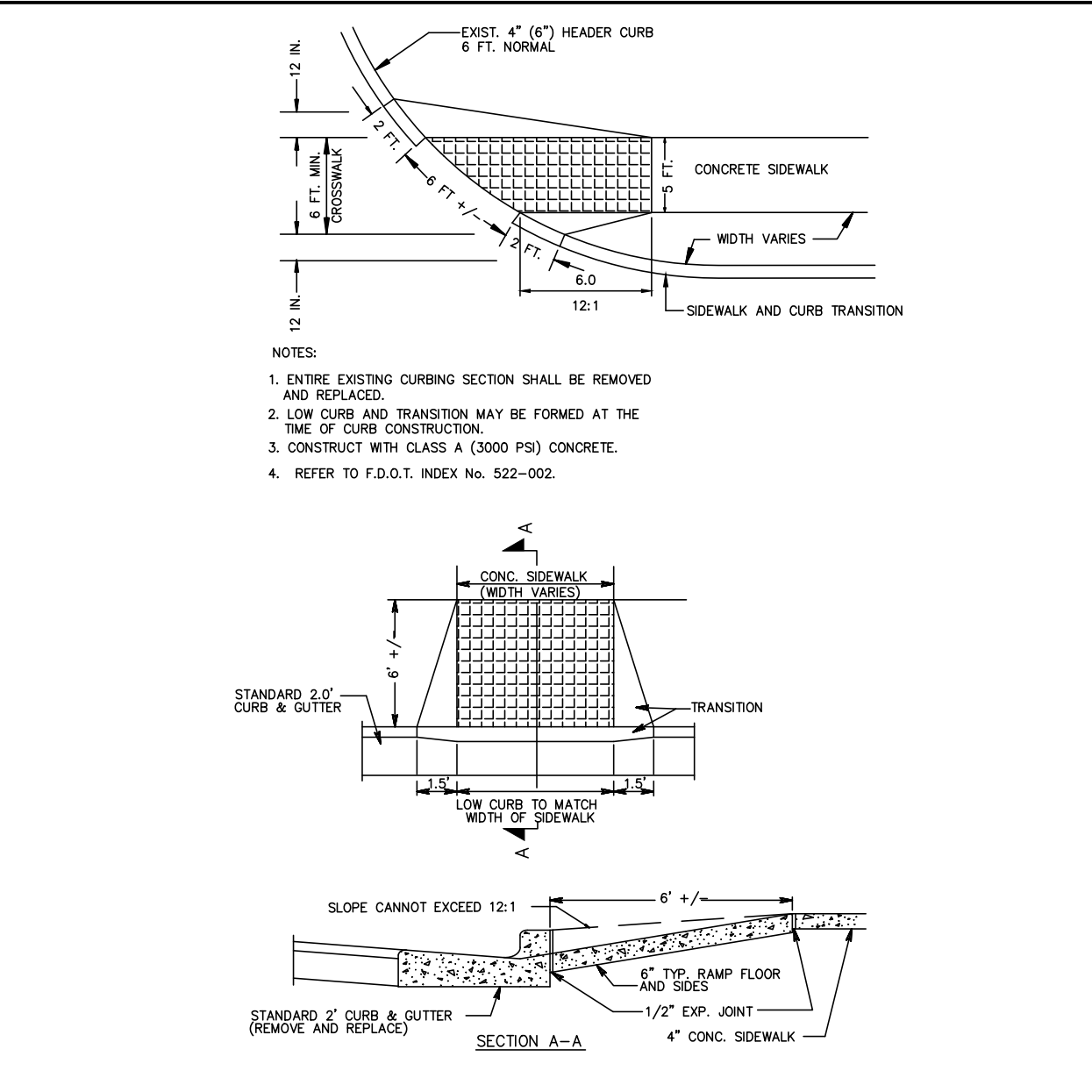
1 HANDICAP PARKING DETAIL
SCALE 1" = 10'



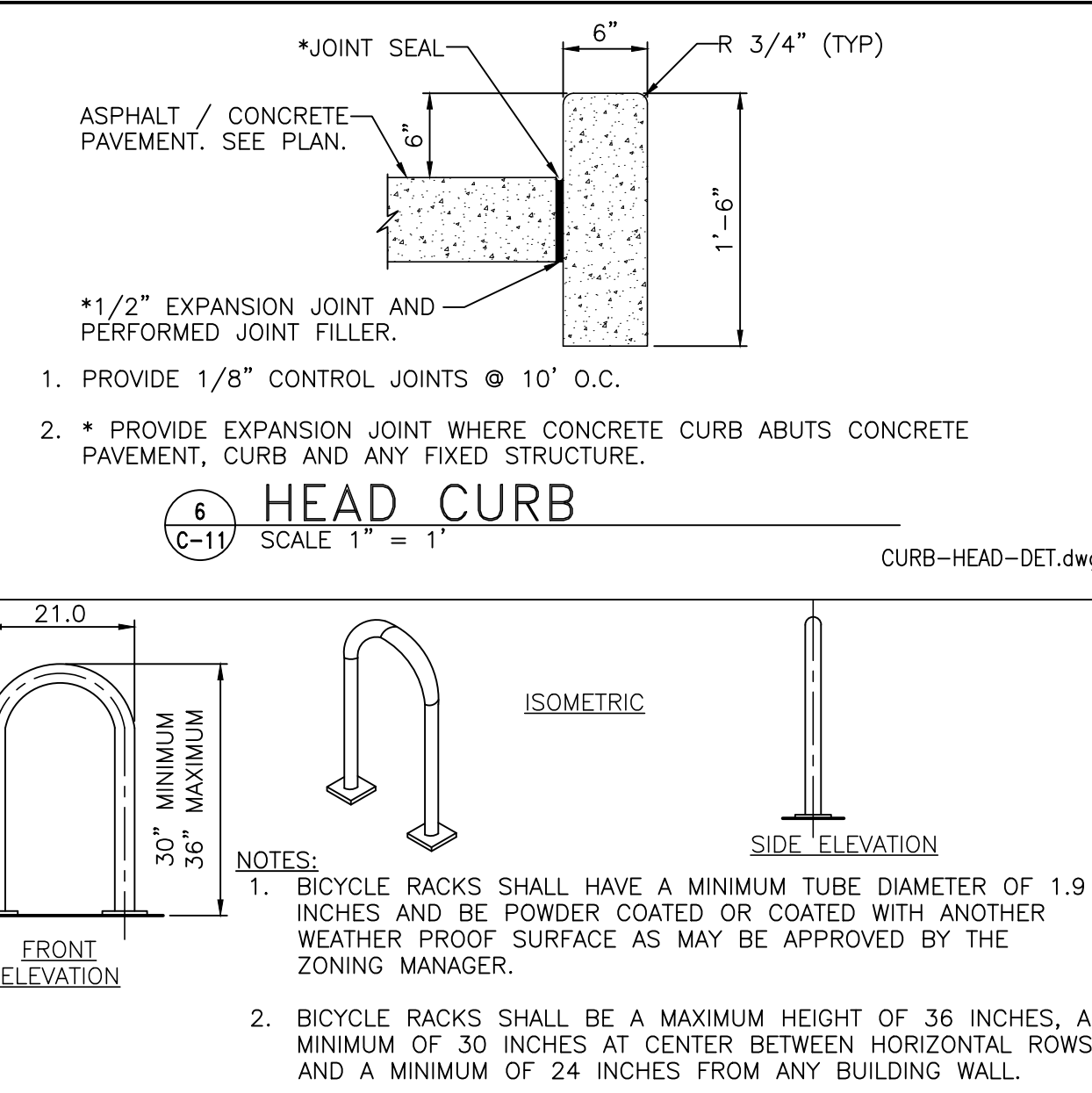
2 HANDICAP SIGN DETAIL
SCALE 1" = 1'



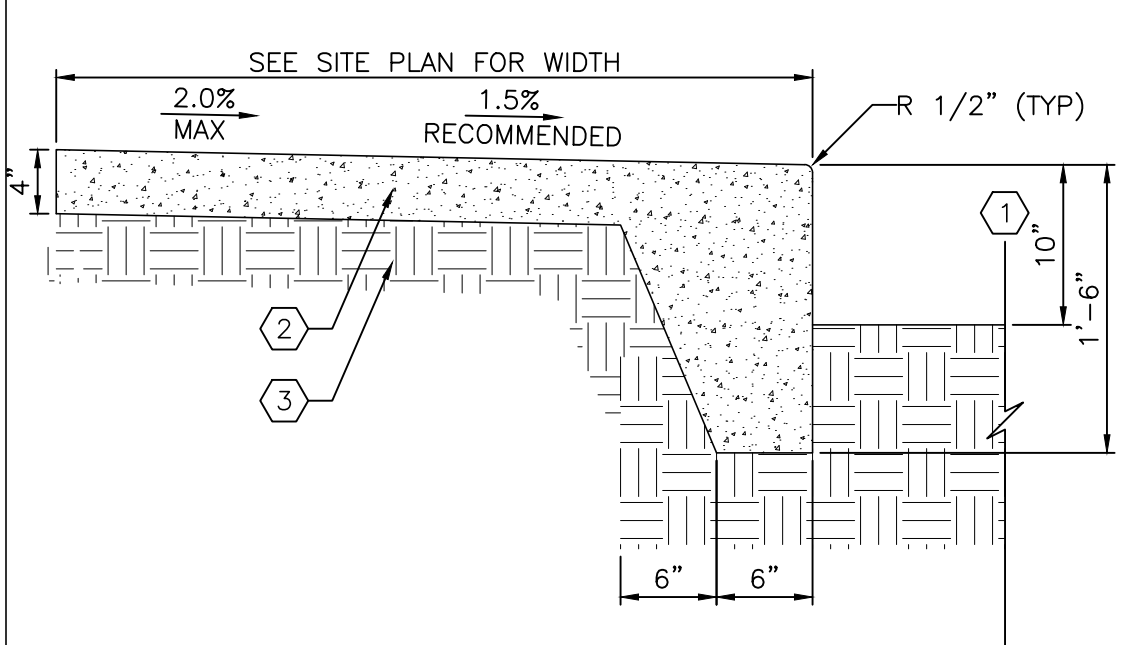
4 WHEEL STOP DETAIL
SCALE 1" = 1'



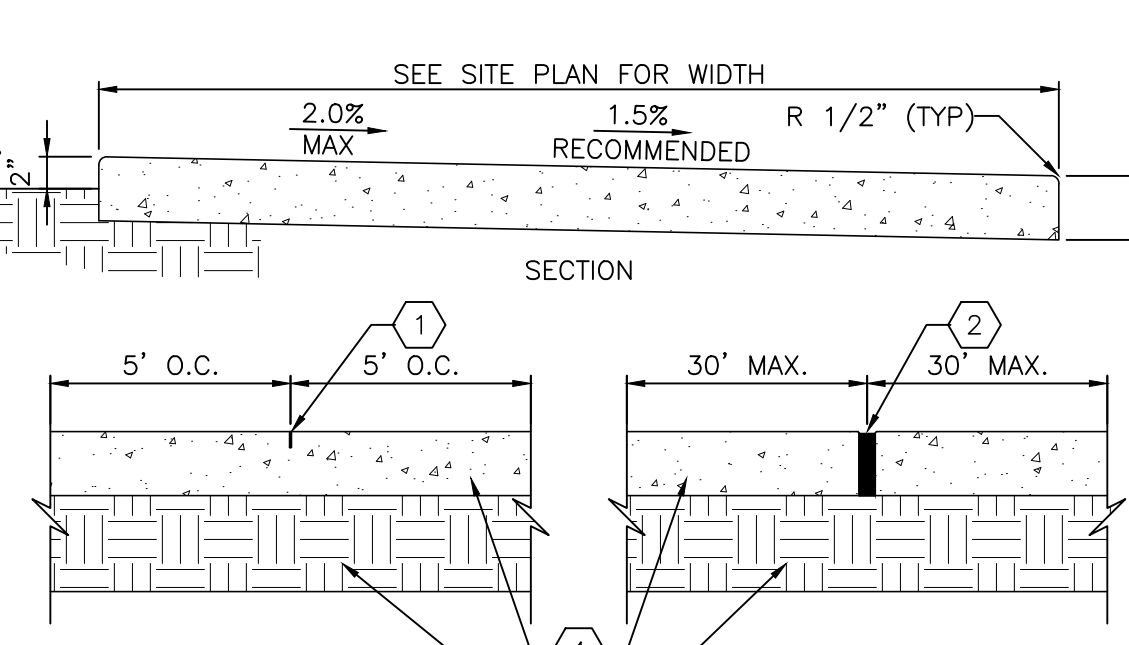
5 WHEELCHAIR RAMP-STRAIGHT
SCALE 1" = 1'



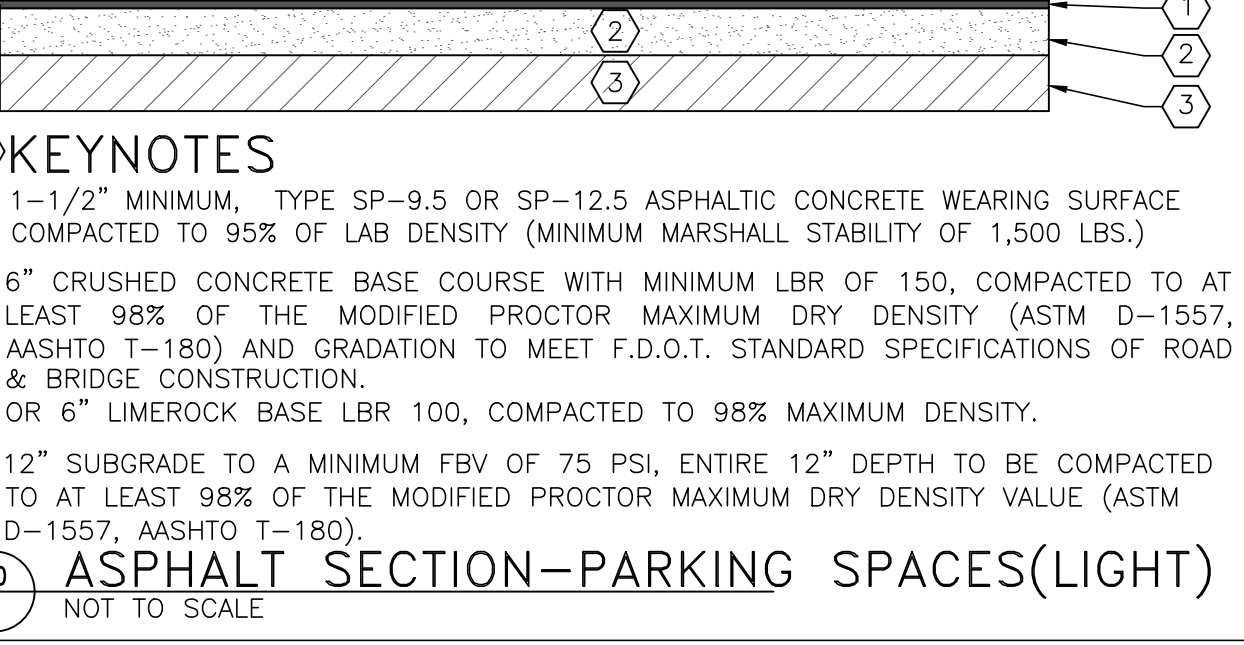
9 INVERTED U BIKE RACK
SCALE 1" = 1'



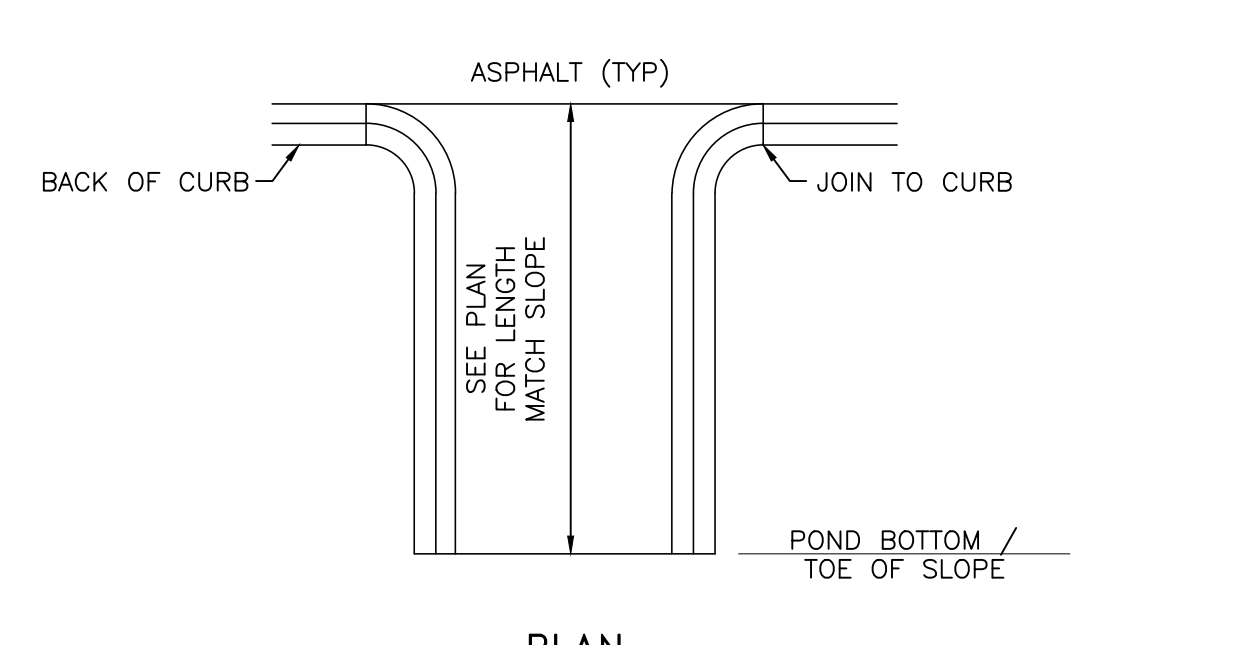
10 ASPHALT SECTION-PARKING SPACES (LIGHT)
NOT TO SCALE



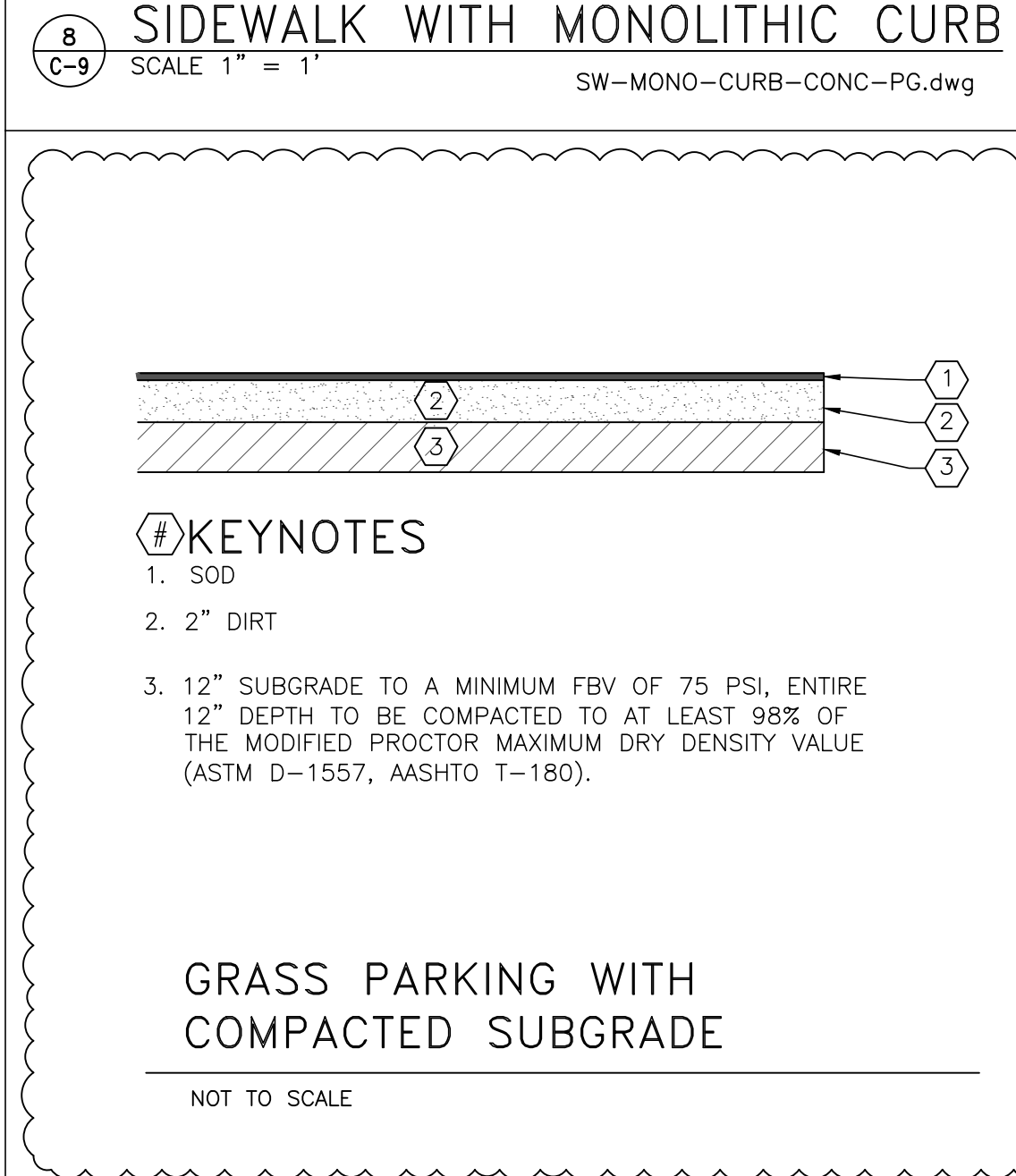
16 CONCRETE SIDEWALK
SCALE 1" = 1'



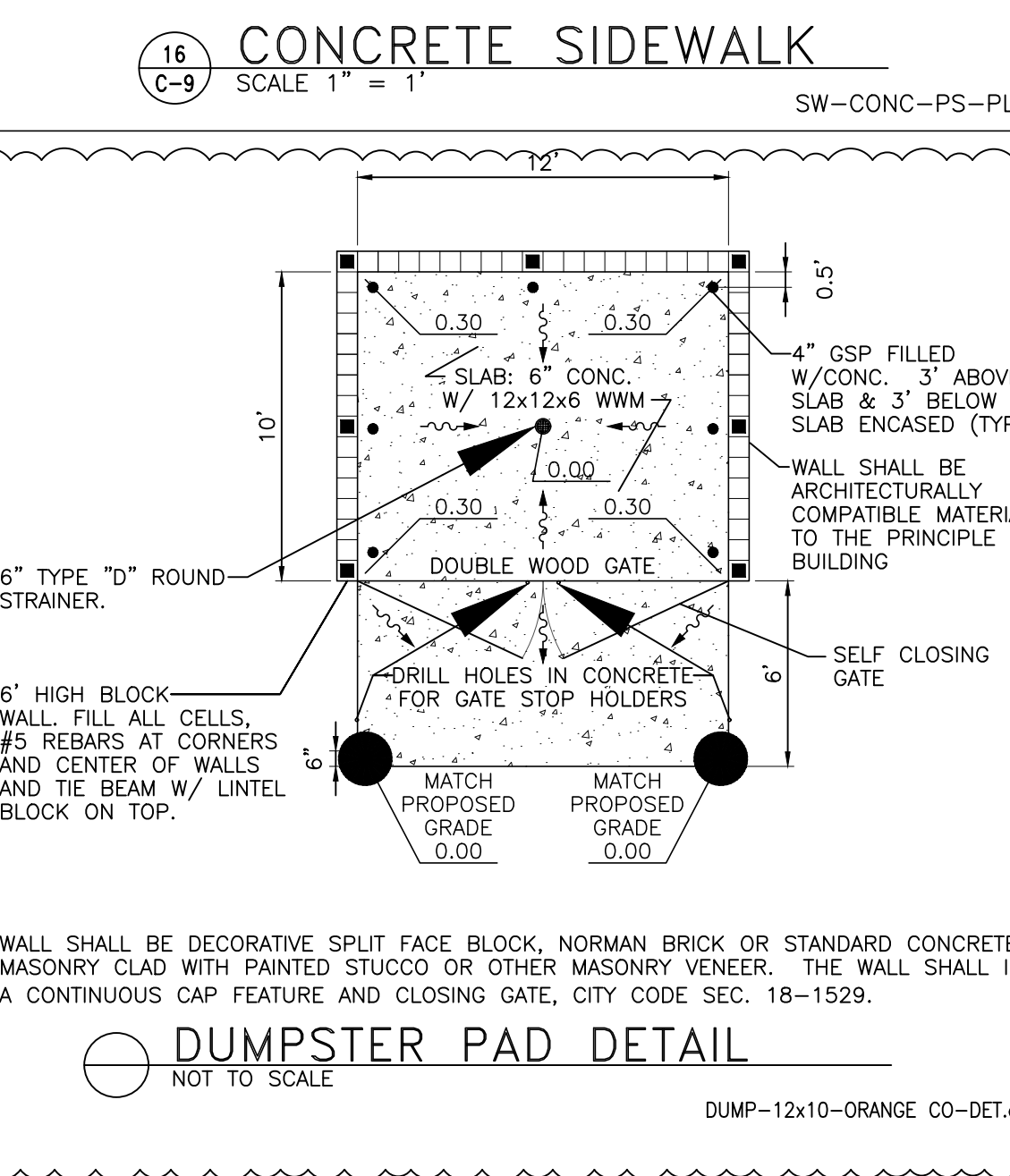
11 ASPHALT SECTION-DRIVE AISLES (MEDIUM)
NOT TO SCALE



11 FLUME DETAIL
SCALE 1" = 1'



8 GRASS PARKING WITH COMPACTED SUBGRADE
SCALE 1" = 1'



16 DUMPSTER PAD DETAIL
SCALE 1" = 1'

CITY OF WINTER GARDEN STANDARDS
HP Storm Pipe shall meet all City material and installation requirements as specified in the City's Standards & Specifications including Class I bedding, laser profiling, installation per ASTM D2321, etc.
13.02.05 - HP Storm Dual Wall Polypropylene Pipe (PP)
Polypropylene compound for pipe and fitting production shall be impact modified copolymer meeting the material requirements of ASTM F2881, Section 5, ASTM F2881, and AASHTO M330, Section 6.1.
Pipe requirements are as follows: 12 inch through 60 inch pipe shall have a smooth interior and annular exterior corrugations and meet or exceed ASTM F2881 and AASHTO M330.
Pipe shall be joined with a dual gasketed integral bell and spigot joint meeting the requirements of ASTM F2881 and AASHTO M330. Joints shall be water-tight according to the requirements of ASTM D3212. Gaskets shall meet the requirements of ASTM F477. Gaskets shall be installed by the pipe manufacturer and covered with a removable, protective wrap to ensure the gasket is free from dirt. A joint lubricant available from the manufacturer shall be used on the gasket and bell during assembly. 12 through 60-inch diameter shall have an exterior wrap installed by the manufacturer.
To assure water-tightness, field performance verification may be accomplished by testing in accordance with ASTM F1417 or ASTM F2487. Contact the manufacturer for recommended leakage rates.
Installation shall be in accordance with ASTM D2321 and the pipe manufacturer's recommended installation guidelines. ASTM D2321 is a widely accepted method for installation of thermoplastic pipe. It is critical the Engineer require that all sections of the specification be adhered to and to realize the Engineer is ultimately responsible for all aspects of the soil pipe system performance. Glass I basalt shall be used for all polypropylene pipe installed within the City of Winter Garden. Water stop gaskets shall be installed at all structures per the manufacturer's guidelines. Only non-shrink grout shall be used when connecting to drainage structures. No pipe joints shall be permitted under the roadway within residential subdivisions. All road crossings within residential subdivisions shall be constructed such that a continuous length of pipe spans the distance between drainage structures.
Any contractor installing HP Storm pipe within the City of Winter Garden shall be certified by the pipe manufacturer as qualified to install said piping material. A copy of the certification must be presented to the City prior to the issuance of the site permit.

DATE	REVISIONS	BY	CHECKED
1/13/2026	3 PER CITY COMMENTS RECEIVED 1/12/2026	WRH	WRH
10/31/2025	2 PER CITY COMMENTS DATED 6/12/2025	WRH	WRH
10/31/2025	1 PER SJRWMD COMMENTS DATED 5/21/2025	WRH	WRH

CONSTRUCTION PLANS
RESSURECTION CATHOLIC CHURCH
1211 WINTER GARDEN VINELAND ROAD
WINTER GARDEN, FLORIDA

FEG FLORIDA ENGINEERING GROUP
now part of
THOMAS & HUTTON

5127 S. Orange Avenue, Suite 200
Orlando, FL 32809
Phone: 407-895-0324
Fax: 407-895-0325
www.thomasandhutton.com

SITE CONSTRUCTION DETAILS
DESIGNED BY WRH
DRAWN BY CRR
CHECKED BY WRH
APPROVED BY WRH

PROJECT NO.	SCALE	DATE	SHEET NO.	SHEET

WILLIAM P. HOCKEY
LICENSE No. 35540
STATE OF FLORIDA
PROFESSIONAL ENGINEER

CITY OF WINTER GARDEN AS BUILT REQUIREMENTS

12-1	12-2	12-3	12-4	12-5
<p>12.1 AS BUILT REQUIREMENTS/RECORD DRAWINGS</p> <p>12.1.1 RECEIVABLES</p> <p>The DESIGN ENGINEER shall submit FOUR (4) certified sets (24X36") of Record Drawings to the CITY prior to issuance of Certificate of Completion for the improvements. The DESIGN ENGINEER shall be responsible for recording information on the approved PLANS concurrently with construction progress. Record Drawings submitted to the CITY as part of the project acceptance shall comply with the following requirements:</p> <ul style="list-style-type: none"> CD or DWG in a jewel case to include two (2) electronic files of record drawings shall be provided to the City. One Drawing file shall be PDF format. (Signed and Sealed) and the second shall be in AutoCAD format. The file shall include the following: <ul style="list-style-type: none"> Engineering and/or Survey Company Name with prepared by statement Project Name, City of Winter Garden Project Number Date the data is turned onto disk Designated "Record Drawing," "Preliminary Record Drawing" or "Other" Auto-CAD Files must be submitted in DWG format minimally. Each file should be for one section of development and one layer included below. Multiple sections will not be accepted in one file. Provide outlines of layers on the Auto-CAD files. Auto-CAD files shall be saved by the E-TOOLSMAN command. Drawings shall clearly show all field changes of dimension and detail including changes made by field order or by change order. Everything in the ground shall be "as-built" and turned in to Engineering Dept. in a Signed & Sealed scanned PDF format. Drawings shall clearly show all details not on original construction drawings but constructed in the field. All equipment and piping relocation shall be clearly shown. The info section corners in the Florida State Plane Coordinate System East to insure proper orientation at each end of baseline. Section corner to sheets can be obtained from the Orange County Surveyor's web page. Each sheet of the PLANS shall be signed, sealed and dated by the DESIGN ENGINEER as being "Record Drawings". Construction PLANS simply stamped "As-Built" or "Record Drawings" and lacking in above requirements will not be accepted, and will be returned to the DESIGN ENGINEER. The "Certificate of Completion" will not be issued until correct "Record Drawings" have been submitted. 	<p>12.4.2 DATUM</p> <ul style="list-style-type: none"> As used in the design and shown on the Record Drawing: Horizontal datum shall be referenced to North American Datum of 1983, on the 1990 adjustment for Florida Traverse Meridian - East Zone. The same datum used in the design and shall be shown as the datum used in the Record Drawing: Vertical datum shall be referenced to the National Geodetic Vertical Datum of 1955 or to the North American Vertical Datum of 1988. THIS SHALL BE CLEARLY NOTED ON THE PLANS. Where there is no baseline, the baseline for water mains shall be the sanitary sewer, if there is no sanitary sewer then the storm sewer, if no storm sewer shall be the property/ROW line, baseline for sanitary sewer shall be the sanitary sewer, baseline for storm sewer shall be the storm sewer. All records shall be digitally positioned on the design drawings prepared by the engineer of record. Said design drawings shall be complete and include both plan and profile views of the infrastructure. In all cases, State Plane Coordinates shall be used in the electronic datum, station, off-set and elevations shall be shown on the plan. <p>12.4.3 GENERAL (FOR ALL LAYERS)</p> <ul style="list-style-type: none"> All references to "proposed" and "plan" are to be removed from the Record Drawing. All lines, structures, and other items that are relocated will be removed and shown in the proper location (hand written notes and "X"ing out will not be allowed). All record drawings will be signed and sealed by Certified Land Surveyor or Professional Engineer in accordance to practice in the State of Florida, if certified by a Surveyor, P.E. will sign off stating that the record drawings were checked by the engineer, verifying that they inspected the work. Lot numbers on the as-builts shall match the lot numbers on the recorded plan. Clearly mark existing infrastructure which is to remain. Clearly mark existing infrastructure which has been abandoned, and how it was abandoned. Station, length, width and depth of flowable fill used. Record Drawings shall not be greater than 1" equals 30'. All detail sheets shall be included with each record drawing. Location by station and elevation, width, depth and length of flowable fill used for all uses. Supply all surveys of the project and or property. 	<p>12.4.4 WATER, REUSE AND FORCE MAINS (EACH TO BE LOCATED ON A SEPARATE LAYER)</p> <ul style="list-style-type: none"> Location of all meter boxes, valves, tees, bands, reducers, caps, plugs, fire hydrants, backflow preventers, water services, taps, air release valves, including top of pipe at MVV, and centerline of water main on station and offset not to exceed 100'. All horizontal deflections shall be called out. Top of pipe elevations should be shown on all tees, valves, bands, reducers, caps, plugs, centerline of water main not to exceed 100' final feet, and bottom flange of barrel section of the fire hydrant. All vertical deflections shall be called out. Restrained joint pipe length (station to station). Manufacturer, model, usage, type and size of valves shall be shown on the plan. Numbered sample points locations needed for DEP (submit) to be removed from "final as-built). Length of run between fittings, type of and size of pipe material. Call out variation (if it exists) in stationing of corporation compared to meter box. <p>12.4.5 SANITARY SEWERS: (TO BE LOCATED ON A SEPARATE LAYER)</p> <ul style="list-style-type: none"> Manhole rim elevation, invert elevations and directions. Length of run between sanitary structures, type of and size of pipe material with calculated percentage of slope for the run of pipe. Location of sanitary service wyes with station and offset, together with the invert elevation, station and offset, pipe diameter and material (only at clean-out). Applicable fit station information should be filled out on the detail sheet for lift stations. <p>12.4.6 WATER/SANITARY/STORM/REUSE PIPE CROSSINGS AND SEPARATIONS (PART OF WATER, SANITARY, REUSE AND/OR STORM LAYER)</p> <ul style="list-style-type: none"> Pipe types, sizes and material. Crossings: Top and bottom elevations of pipes crossing each other and the distance between the outside of the two lines. Separation: Distance between the outside of the two lines. <p>12.4.7 CONFLICTING STORM/WATER/SANITARY/REUSE STRUCTURES (PART OF EACH APPLICABLE LAYER)</p> <ul style="list-style-type: none"> Top and bottom of casing. All info asked for in storm or sanitary manhole descriptions with the addition of top of all pipes. <p>12.4.8 CASINGS (PART OF EACH APPLICABLE LAYER)</p> <ul style="list-style-type: none"> Material and thickness. Top and invert of casing. Length and station and offset of ends. If used: station and offset for vent, including top location, and fittings. <p>12.4.9 STORM SEWERS AND UNDERDRAIN (TO BE LOCATED ON A SEPARATE LAYER)</p>	<p>12.4.10 STREET LIGHTS (TO BE LOCATED ON A SEPARATE LAYER)</p> <ul style="list-style-type: none"> Manufacturer, model, and height of poles shall be shown on the record drawings. Manufacturer, model, and wattage and voltage of lights shall be shown on the record drawings. Pull boxes, station and offset. Length of conduit runs between boxes and poles, type of, and size of pipe material. Shown as, laid in the ground not as a wiring schematic, with amount, by color, type of, and size of wiring material. Service connection, type (Duke Energy owned, City metered) station and offset. <p>12.4.11 IRRIGATION (TO BE LOCATED ON A SEPARATE LAYER)</p> <ul style="list-style-type: none"> Backflow preventer, control stand location, Control valve, zone, station and offset. Main line piping size, material, length, depth. Heads: Type (1/4, half, 3/4, full circle) zone, station and offset. Control Stand, station and offset. <p>12.4.12 LANDSCAPING (TO BE LOCATED ON A SEPARATE LAYER)</p> <ul style="list-style-type: none"> Tree type, caliber, and height. Tree grade, size, and model. Station elevation, length, width, and depth of Structural Soil used. Top of and toe of slope on berm elevation for landscaping. <p>12.4.13 PRIVATE CONSTRUCTION IMPACTS TO RIGHT-OF-WAY (TO BE LOCATED ON A SEPARATE LAYER)</p> <ul style="list-style-type: none"> Private utility or revocable easements in the City ROW's or on City property must be shown on the plan "As-Built" or "Record Drawings" and the location need to be shown and called out as private. The recording information should be on the as-built. 	<p>12.4.14 FLOWABLE FILL (PART OF EACH APPLICABLE LAYER)</p> <ul style="list-style-type: none"> Limits of flowable fill shall be noted on the as-built (Location, Length, Width, & Depth).

CITY OF WINTER GARDEN -- GENERAL NOTES:

- ALL UTILITY SYSTEMS AND IMPROVEMENTS CONSTRUCTED IN THE CITY OF WINTER GARDEN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE MANUAL OF STANDARDS AND SPECIFICATIONS FOR UTILITY CONSTRUCTION FOR THE CITY OF WINTER GARDEN, TO BE REFERRED TO AS MSS/CWG. THE LATEST EDITION AT THE TIME PERMITS ARE APPROVED SHALL BE EFFECTIVE FOR THE DURATION OF THE SUBJECT WORK OR PROJECT DEVELOPMENT.
- THE CITY OF WINTER GARDEN GENERAL NOTES AND DETAILS ARE PROVIDED FOR THE CONVENIENCE OF FIELD PERSONNEL. THEY DO NOT INCLUDE ALL REQUIREMENTS OF THE MSS/CWG. THE CONTRACTOR SHALL REFER TO THE FULL TEXT OF THE MSS/CWG FOR FURTHER DETAIL AND CLARITY WHEN NEEDED.
- ANY REQUEST FOR VARIANCE OR NONCOMPLIANCE FROM THE MSS/CWG NOTED ABOVE MUST BE APPROVED BY THE CITY ENGINEER OR UTILITIES DIRECTOR.
- THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN EXCAVATING IN CLOSE PROXIMITY TO WATER, WASTEWATER, RECLAIMED WATER AND OTHER UTILITY SYSTEMS. THE CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS WITH RESPECTIVE UTILITY OWNERS AND/OR CALL "SUNSHINE ONE CALL", 1-800-432-4770 A MINIMUM OF 72 HOURS IN ADVANCE.
- CONTRACTOR'S DAMAGE OF WINTER GARDEN UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY NOTIFY AND REPORT DAMAGE TO THE CITY OF WINTER GARDEN UTILITY DIVISION, (NO MESSAGE) PHONE # 407-656-4100.
- IMMEDIATE REPAIR OF DAMAGED UTILITY SYSTEM: THE CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DAMAGE TO THE CITY OF WINTER GARDEN UTILITY SYSTEM AS REQUIRED BY THE UTILITY OWNER AT CONTRACTOR'S COST. IN CASE OF UNRESPONSIVE ACTION BY THE CONTRACTOR, THE CITY RESERVES RIGHT TO REPAIR DAMAGE. THE CONTRACTOR SHALL REIMBURSE THE CITY OF WINTER GARDEN OF ALL REPAIR COST.
- ADVANCE NOTIFICATION OF CONSTRUCTION: THE CONTRACTOR SHALL NOTIFY CITY OF WINTER GARDEN, UTILITY DIVISION, PH.# 407-656-4100, AT LEAST SEVEN (7) CALENDAR DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITY.
- ADVANCE NOTIFICATION OF UTILITY CONNECTION: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST SEVEN CALENDAR DAYS IN ADVANCE TO SCHEDULE CONNECTIONS TO UTILITY SYSTEM.
- UTILITY VALVE OPERATION: ONLY CITY OF WINTER GARDEN UTILITY PERSONNEL SHALL OPERATE VALVES AND FIRE HYDRANTS. THE CONTRACTOR, WHEN NEEDED, SHALL CALL THE CITY TO REQUEST VALVE OPERATIONS AT LEAST TWO (2) DAYS IN ADVANCE OF CONSTRUCTION WORK.
- OPERATIONS INVOLVING WATER OR WASTEWATER FACILITIES INCLUDING PUMPING STATIONS: THE CONTRACTOR SHALL COORDINATE AT LEAST TWO (2) WEEKS IN ADVANCE, ANY CONSTRUCTION OPERATION THAT MAY REQUIRE THE DISCONTINUATION OF SERVICE OR OPERATION OF A FACILITY. THE CITY WILL PROVIDE PERSONNEL TO OPERATE THE CITY FACILITIES.
- REQUIRED TESTING BY CONTRACTOR: THE CONTRACTOR SHALL NOTIFY THE CITY OF WINTER GARDEN AT LEAST TWO (2) DAYS PRIOR TO SAMPLING ACTIVITIES FOR PURPOSE OF TESTING AS REQUIRED BY THE CITY. THE CONTRACTOR SHALL NOT TEST OR SAMPLE WITHOUT OBSERVATION BY CITY INSPECTION PERSONNEL.
- TEMPORARY OR CONSTRUCTION WATER SERVICE CONNECTIONS PROVIDED BY FIRE HYDRANT CONNECTION: THE CITY WILL PROVIDE METER ON FIRE HYDRANT. THE CONTRACTOR SHALL PROVIDE NON-REFUNDABLE ACCOUNT INITIATION FEE, A REFUNDABLE SECURITY DEPOSIT FOR THE METER APPARATUS AND PAY ALL COST FOR WATER USED.
- ALL AS BUILT MEASUREMENTS & ELEVATIONS ARE TO BE MADE BY A LICENSED LAND SURVEYOR.

CoWG WATER SYSTEM NOTES:

- THE CONTRACTOR SHALL PROVIDE AND INSTALL A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
- THE CONTRACTOR SHALL HYDROSTATICALLY TEST ALL WATER MAINS AND SERVICE LATERALS AT 150 PSI FOR A TWO HOUR PERIOD. TESTING MUST BE OBSERVED BY A CITY INSPECTOR.
- THE CONTRACTOR SHALL INSTALL WARNING TAPE OVER ALL NEW WATER MAINS. WARNING TAPE SHALL BE AS FOLLOWS: NON-DETECTABLE, SIZE 2" WITH "WATER LINE BELOW" MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES. NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT.
- THE CONTRACTOR SHALL INSTALL WATER MAINS PER MoSS/CoWG SPECIFICATIONS. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS ON PIPING SYSTEMS SHALL NOT BE ALLOWED.
- THE CONTRACTOR SHALL INSTALL ALL WATER MAINS TO A MINIMUM DEPTH OF 36 INCHES AND A MAXIMUM DEPTH OF 42 INCHES BELOW FINAL GRADE.
- THE CONTRACTOR SHALL INSTALL ALL SERVICE LATERALS A UNIFORM DISTANCE APART, LOCATED ON PROPERTY LOT LINE AT 90° FROM THE WATER MAIN. SERVICE LATERALS SHALL BE SEPARATELY CONNECTED TO THE WATER MAIN, NOT SPLICED TOGETHER.
- THE CONTRACTOR SHALL CUT A "V" INTO CONCRETE CURB, LOCATED INSIDE OF A PAINTED BLUE SQUARE, LOCATED DIRECTLY IN FRONT OF EACH SERVICE LATERAL.
- THE CONTRACTOR SHALL INSTALL CURB STOP, IN METER BOX, CURB STOP SHALL BE SET 8" BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL IN-LINE VALVES ON WATER MAINS AT 1,000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED ON ALL TEES AND CROSSES. WATER MAINS SHALL BE PLACED UNDER SIDEWALKS WHERE POSSIBLE.
- ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- THE CONTRACTOR SHALL DEMONSTRATE THAT LOCATION WIRE INSTALLED OVER ALL WATER MAINS IS IN WORKING CONDITION AT TIME OF ACCEPTANCE BY THE CITY.
- ALL NEW SUBDIVISION CONSTRUCTION SHALL INSTALL DOUBLE POTABLE WATER SERVICES AT THE PROPERTY LINES.

CoWG -- WASTEWATER SYSTEM NOTES:

- SANITARY SEWER MAINS AND SERVICES SHALL BE PVC SDR-26 (MINIMUM), FITTINGS SHALL BE SDR-26. DUCTILE IRON IS NOT APPROVED FOR SANITARY SEWERS.
- ALL SERVICES SHALL BE 6" (MINIMUM) DIAMETER AND TERMINATE AT THE PROPERTY LINE WITH 6" CLEAN OUT, 18" TO 48" DEEP AT LOT LINE
- MAGNETIC TAPE MUST BE PLACED 2" ABOVE THE TOP OF PIPE FOR THE ENTIRE LENGTH OF ALL MAINS AND SERVICES.
- ALL SANITARY MANHOLES SHALL BE PAINTED INSIDE AND OUT WITH "BITUMASTIC SUPER SERVICE BLACK", BY KOPPERS OR APPROVED EQUAL. MANHOLES RECEIVING FLOW FROM FORCE MAINS SHALL BE LINED WITH FIBERGLASS OR HOPE AT THE PRECASTERS FLEXIBLE.
- ALL PIPE CONNECTIONS TO PRE-CAST MANHOLES SHALL BE MADE USING A FLEXIBLE EPDM RUBBER BOOT AND STAINLESS STEEL STRAP OR CAST IN BOOT BY A-LOK, Z-LOK OR EQUAL.
- CONNECTIONS MADE TO EXISTING MANHOLES SHALL BE CORE BORED WITH A MINIMUM 6" BORE AND CONNECTION SEALED WITH FLEXIBLE BOOT AND STAINLESS STEEL CLAMP.
- DEAD END MANHOLES SHALL HAVE A MINIMUM OF 5 FEET OF COVER FROM FINISHED GRADE TO OUTLET PIPE INVERT.
- ALL PRECAST SEWER MANHOLES SHALL HAVE A 4 FOOT MINIMUM HIGH BARREL. CONE SECTIONS SHALL BE 3 FOOT MAXIMUM. CONCRETE DONUTS FOR EXTENDING ARE ACCEPTABLE TO RAISE MANHOLES UP TO 1 FOOT MAXIMUM.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL BALLBEARING PLUG VALVES IN FORCE MAINS AT 1000 FOOT MAXIMUM SPACING BETWEEN VALVES. VALVES SHALL BE LOCATED AT ALL TEES AND CROSSES.
- THE CONTRACTOR SHALL CUT A "3" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED GREEN SQUARE, 80% IN FRONT OF EACH SERVICE LOCATION.
- THE CONTRACTOR SHALL PROVIDE TV INSPECTION OF ALL SANITARY SEWER MAINS AFTER SYSTEM IS COMPLETED, THOROUGHLY CLEANED, DRAINED AND FULLY VISIBLE. TV INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATIONS. FAULTY INSPECTION DUE TO POOR CONDITIONS WILL REQUIRE REINSPECTION BY CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE A (WARRANTY) TV INSPECTION AT THE TWO YEAR IN SERVICE MILESTONE FOR EACH SYSTEM.
- THE CONTRACTOR SHALL PROVIDE SANITARY SEWER TESTING, EXFILTRATION OR AIR, AS REQUIRED BY DESIGN ENGINEER AND SUBMIT CERTIFIED RESULTS TO THE CITY ENGINEER.
- GRAVITY SEWERS DEPTHS SHALL NOT EXCEED 18 FEET.
- THE DESIGN ENGINEER SHALL PROVIDE A MINIMUM OF ONE FOOT OF FREEBOARD BETWEEN THE LOWEST FINISHED FLOOR ELEVATION AND THE TOP ELEVATION OF THE WET WELL.
- ALL PENETRATIONS INTO CONCRETE STRUCTURES SHALL BE PRE-CAST OR CORE-DRIILLED.
- WARRANTY - ALL MATERIALS & EQUIPMENT TO BE FURNISHED AND/OR INSTALLED BY THE CONTRACTOR SHALL BE WARRANTED FOR A PERIOD OF TWO YEARS FROM THE DATE OF FINAL ACCEPTANCE THEREOF AGAINST DEFECTIVE MATERIALS, DESIGN, AND WORKMANSHIP. UPON RECEIPT OF NOTICE FROM THE CITY OF FAILURE OF ANY PART OF THE WARRANTED EQUIPMENT OR MATERIALS DURING THE WARRANTY PERIOD, DEFECTIVE PARTS OR MATERIALS SHALL BE PROMPTLY REPLACED BY THE CONTRACTOR WITH NEW PARTS OR MATERIALS AT NO EXPENSE TO THE CITY. IN THE EVENT THE CONTRACTOR FAILS TO MAKE THE NECESSARY REPLACEMENT OR REPAIRS IMMEDIATELY AFTER NOTIFICATION, THE CITY MAY ACCOMPLISH THE WORK AT THE EXPENSE OF THE CONTRACTOR.

CLOSED CIRCUIT TELEVISION (CCTV) INSPECTION OF SEWER LINES

GENERAL:

- ALL NEW SANITARY SEWER LINES, PRIVATE OR CITY MAINTAINED, IN THE CITY OF WINTER GARDEN'S SERVICE AREA SHALL BE INSPECTED BY CLOSED CIRCUIT TV INSPECTION BY THE CONTRACTOR WITH A CITY INSPECTOR PRESENT PRIOR TO BEING ACCEPTED BY THE CITY.

REQUIREMENTS PRIOR TO INSPECTION RELEASE:

- ALL ELEMENTS OF THE SEWER SYSTEM MUST BE INSTALLED AND BE COMPLETELY FINISHED, INCLUDING MAIN SEWER LINES, LATERALS, CLEAN OUTS, AND MANHOLES PRIOR TO CCTV INSPECTION.
- ALL SEWER LINES SHALL BE COMPLETELY CLEANED OF ALL DEBRIS, SAND, WATER, ETC. PRIOR TO THE CCTV INSPECTION. ANY OBJECT OR MATTER THAT PREVENTS CCTV INSPECTION FROM VIEWING CONDITION OF PIPELINE IS CONSIDERED AN OBSTRUCTION REQUIRING ADDITIONAL CLEANING. WHEN CCTV VIEW IS OBSTRUCTED, INSPECTION SHALL BE TERMINATED. THE CONTRACTOR SHALL CLEAN THE SEWER SYSTEM COMPLETELY AND RESCHEDULE CCTV RE-INSPECTION WITH THE CITY.
- A HYDRAULIC SEWER CLEANER SHALL NOT BE USED DURING THE CCTV INSPECTION. IF LINES ARE FOUND TO BE OBSCURED BY WATER OR DEBRIS DURING THE CCTV INSPECTION, THE INSPECTION SHALL BE TERMINATED AND RESCHEDULED TO A TIME WHEN SEWER CLEANING IS COMPLETE.
- WHEN A SEWER LINE IS UNDER A PAVED AREA, THE AREA SHALL BE COMPACTED AND PRIMED BEFORE THE SYSTEM SHALL BE RELEASED FOR TV INSPECTION.

TELEVISION EQUIPMENT MINIMUM REQUIREMENTS:

- THE CLOSED CIRCUIT TV CAMERA SHALL PRODUCE A CLEAR COLOR PICTURE ON THE MONITOR AND ON THE DVD RECORDING. THE CAMERA SHALL BE ABLE TO SHOW DETAIL TO THE POINT THAT ALL JOINTS AND ANY DEFECTS MAY BE READILY SEEN AT THE TIME OF THE INSPECTION. THE CAMERA SHALL STOP AND PAN AT EACH JOINT FOR COMPLETE 360 DEGREE INSPECTION.
- REFER TO APPENDIX B OF THE REFERENCED STANDARDS FOR SPECIFICATION OF CLOSED CIRCUIT TELEVISION INSPECTION EQUIPMENT.
- THE VIDEO RECORDER SHALL PRODUCE A NO NOISE STILL PICTURE, AND PROVIDE BOTH AUDIO AND VIDEO DURING THE INSPECTION.
- A MEASURING DEVICE, APPROVED BY THE CITY, TO CHECK THE GRADE OF THE PIPE DURING THE INSPECTION, SHALL BE REQUIRED. GAUGE DEPTH, 0" TO 2" MIN. WITH 1/2" MARKINGS.
- AUDIO OF THE INSPECTION SHALL BE SIMULTANEOUSLY RECORDED ON DVD DISC. THE AUDIO SHALL CONSIST OF ORDINARY DESCRIPTION AND COMMENTARY. A TAPE WILL BE GIVEN TO THE INSPECTOR ON SITE AT THE END OF THE DAY.

PROCEDURE FOR TELEVISION

- THE CITY'S ENGINEERING INSPECTION DIVISION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS NOTICE PRIOR TO THE TIME PLANNED FOR THE TV INSPECTION TO COMMENCE. A DEFINITE TIME AND DATE WILL BE AGREED UPON BY THE CONTRACTOR AND INSPECTOR AT THAT TIME.
- NO INSPECTION SHALL COMMENCE WITHOUT THE PRESENCE OF THE INSPECTOR, EXCEPT WHEN PRIOR ARRANGEMENTS HAVE BEEN MADE BETWEEN THE CONTRACTOR, INSPECTOR, AND THE CITY. TV INSPECTION SHALL BE PERFORMED BY THE CONTRACTOR AT THE EXPENSE OF THE CONTRACTOR.
- ALL CCTV INSPECTIONS SHALL COMMENCE UP STREAM OF THE SYSTEM TO PREVENT FOREIGN SUBSTANCES FROM ENTERING A SECTION PREVIOUSLY TELEVIEWED. THE CAMERA SHALL BE STARTED FROM THE DOWNSTREAM MANHOLE AND PROCEED UPSTREAM IN DIRECTION OPPOSING THE NORMAL FLOW IN THE LINE. THIS PROCEDURE WILL ALLOW FOR THE VIEWING OF THE SERVICE LATERALS.
- BEFORE THE CAMERA IS PLACED IN THE SEWER LINE, WATER WITH YELLOW OR ORANGE DYE SHALL BE PUT INTO THE UPSTREAM MANHOLE OF THE SECTION BEING TELEVIEWED. CAMERA WILL HAVE A GAUGE SHOWING 1/2" MARKS FROM 1/2" TO 2-1/2". THIS WILL ENABLE THE CAMERA TO DETECT ANY CHANGES IN GRADE THAT MAY BE PRESENT IN THE SYSTEM.
- THE CCTV AND DVD RECORDER SHALL BE TURNED ON BEFORE THE CAMERA IS PLACED IN THE MANHOLE FOR INSPECTION AND SHALL NOT BE TURNED OFF UNTIL THE CAMERA IS REMOVED FROM THE MANHOLE. THE CAMERA SHALL BE MOVED THROUGH THE LINE UNDER THE CONTROL OF THE CCTV CAMERA OPERATOR. THE CAMERA SHALL BE DRAWN THROUGH THE LINE AT A RATE NOT TO EXCEED THIRTY (30) FEET PER MINUTE AND SHALL STOP AT ALL SERVICE CONNECTIONS AND PIPE JOINTS IN THE PIPELINE.
- A DVD RECORDING SHALL BE MADE OF THE ENTIRE SYSTEM BEING TELEVIEWED. THIS SHALL BECOME THE PROPERTY OF THE CITY UPON COMPLETION OF THE TV INSPECTION (NOT A COPY). THE TAPES SHALL BE LABELED IN SUCH A MANNER THAT STATES THE PROJECT NAME, DATE OF INSPECTION AND LINE SECTION ACCORDING TO CONSTRUCTION PLANS CONTAINED ON EACH TAPE. A WRITTEN REPORT SHALL ACCOMPANY THE DVD DISC.

CoWG RECLAIMED WATER SYSTEM GENERAL NOTES:

- ALL PRIVATE RECLAIMED WATER SYSTEMS SHALL HAVE A CITY APPROVED BACKFLOW DEVICE ASSEMBLY AT EACH CONNECTION POINT TO THE CITY WATER SYSTEM.
- REPAIRS TO NEW WATER LINES, TO OBTAIN SPECIFIED PRESSURE TEST, WILL BE ALLOWED ONLY UP TO A NUMBER EQUAL TO 10% OF THE TOTAL NUMBER OF JOINT CONNECTIONS.
- ALL MAINS AND SERVICE LATERALS SHALL BE HYDROSTATICALLY TESTED AT 150 PSI FOR A TWO HOUR PERIOD.
- WARNING TAPE, NON-DETECTABLE, SIZE 2" WITH "REUSE WATER LINE BELOW", MUST BE PLACED 8" TO 12" BELOW FINISHED GRADE ON ALL PVC WATER MAINS, LATERALS AND HEADER TEES, NUMBER 10 GAUGE TRACER WIRE SHALL BE ATTACHED TO THE TOP OF THE PIPE WITH DUCT TAPE, AT LEAST FIVE TIMES PER JOINT. THE TRACER WIRE SHALL ALSO BE ATTACHED TO ALL PVC LATERALS AND ATTACHED TO THE OUTSIDE OF EACH VALVE BOX SO THAT A PIPE LOCATOR CAN BE CONNECTED TO IT. THE CONTRACTOR SHALL DEMONSTRATE THE LOCATE WIRE TO BE IN WORKING CONDITION AT PROJECT COMPLETION.
- THE CONTRACTOR SHALL INSTALL RECLAIMED WATER MAINS PER MoSS/CoWG. SOLVENT CEMENTED JOINTS AND THRUST BLOCKS SHALL NOT BE ALLOWED.
- REUSE WATER MAIN SHALL BE BURIED TO A MINIMUM DEPTH OF 36" AND A MAXIMUM DEPTH 42" BELOW FINAL GRADE.
- SERVICE LATERALS MUST BE LOCATED A UNIFORM DISTANCE APART AND ALIGNED TO PROPERTY LOT LINE AT 90° FROM THE RECLAIMED WATERMAIN.
- CUSTOMER SERVICE LATERALS SHALL NOT BE SPLICED TOGETHER BETWEEN THE WATER MAIN AND CURB STOP.
- THE CONTRACTOR SHALL CUT CURB A "RW" INTO CONCRETE CURB LOCATED INSIDE OF A PAINTED SQUARE (PURPLE), DIRECTLY IN FRONT OF EACH SERVICE LATERAL AND VALVE.
- THE CONTRACTOR SHALL SET DEPTH OF CURB STOP, IN METER BOX, 8" BELOW FINISHED GRADE.
- THE CONTRACTOR SHALL INSTALL VALVE(S) IN MAIN, NO MORE THAN 1,000 FEET APART IN BETWEEN TEES AND CROSSES. VALVES SHALL BE PROVIDED AT EACH TEE OR CROSS LOCATED IN MAIN LINE.
- RECLAIMED WATER MAINS MAY BE LOCATED UNDER SIDEWALKS. RECLAIMED MAINS LOCATED UNDER PAVEMENT SHOULD BE MINIMIZED.
- ALL WATERMANS SHALL BE CLEANED BY PIGGING THE LINE WITH A FOAM PIG (MINIMUM OF 2 TIMES). A FULL BORE FLUSH MAY BE REQUIRED AFTER PIGGING TO ENSURE THE PIPE IS CLEAN AND READY FOR SERVICE. THE CONTRACTOR SHALL COORDINATE LINE PIGGING AND FULL BORE FLUSH WITH THE CITY INSPECTOR.
- RECLAIMED WATERMAIN MAINS SHALL BE 8 INCH DIAMETER MINIMUM. 4 INCH IS ALLOWED ON DEAD END RUNS SERVING LESS THAN 20 HOMES. THE DESIGN ENGINEER SHALL SUBMIT HYDRAULIC CALCULATIONS THAT DEMONSTRATE THE PROPOSED SYSTEM WILL PROVIDE REQUIRED FLOWS AND MAINTAIN SYSTEM ABOVE MINIMUM PRESSURE. PEAK IRRIGATION RATE SHALL BE SIX(6) TIMES GREATER THAN THE AVERAGE IRRIGATION RATE OF FLOW.
- RECLAIMED WATER SYSTEM COMPONENTS INCLUDING PIPE, VALVE BOX TOPS AND METER BOX TOPS SHALL BE RECLAIMED PURPLE IN COLOR.

CoWG -- THRUST RESTRAINT TABLE

RESTRAINED FORCE MAIN PIPE TABLE									
MINIMUM LENGTH(FEET) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)									
	PIPE SIZE								
	8"	10"	12"	16"	20"	24"	30"	36"	
90° BEND	19	25	30	34	44	52	60	70	80
45° BEND	8	10	12	14	18	21	25	30	34
22-1/2° BEND	4	5	6	7	9	10	12	14	16
11-1/4° BEND	2	3	4	5	6	7	8	9	10
PLUG, DEAD END OR BRANCH OF TEE	40	52	65	72	93	111	130	155	178
VALVE	20	25	32	38	47	58	78	118	89

RESTRAINED WATER AND RECLAIMED PIPE TABLE									
MINIMUM LENGTH(FEET) TO BE RESTRAINED ON EACH SIDE OF FITTING(S)									
	PIPE SIZE								
	6"	8"	10"	12"	16"	20"	24"	30"	36"
90° BEND	29	37	44	51	65	77	89	109	120
45° BEND	12	15	18	21	27	32	37	44	50
22-1/2° BEND	6	7	9	10	13	15	18	21	24
11-1/4° BEND	3	4	5	6	7	8	9	10	12
PLUG, DEAD END OR BRANCH OF TEE	59	77	93	108	138	166	194	231	265
VALVE	29	37	44	51	65	77	89	109	120

CoWG THRUST RESTRAINT NOTES:

- THE TABLES INDICATE MINIMUM LENGTHS OF RESTRAINED JOINTS ON EACH SIDE OF FITTINGS AND CHANGES IN DIRECTION. WHERE PRACTICAL, FULL LENGTHS OF RESTRAINED PIPE SHALL BE LAID TO ACHIEVE THE REQUIRED MINIMUM RESTRAINT.
- WHERE COMBINATIONS OF FITTINGS ARE USED, THE PIPING BETWEEN THE FITTINGS SHALL BE RESTRAINED. THE MINIMUM RESTRAINED LENGTH OF PIPE REQUIRED UPSTREAM AND DOWNSTREAM OF THE COMBINATION OF FITTINGS SHALL BE DETERMINED ON THE BASIS OF ONE EQUIVALENT FITTING (I.E., 2-45 DEGREE BENDS WILL BE CONSIDERED AS THOUGH A 90° BEND WERE LOCATED MIDWAY BETWEEN THE TWO 45° BENDS).
- FOR PIPE THAT IS ENCASED IN POLYETHYLENE, RESTRAINED JOINTS MINIMUM LENGTHS SHALL BE INCREASED BY 50 PERCENT.
- FOR FITTINGS OTHER THAN THOSE PRESENTED IN THE ABOVE TABLES, RESTRAINED JOINT LENGTHS SHALL BE DETERMINED IN ACCORDANCE WITH "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" BY THE DUCTILE IRON PIPE RESEARCH ASSOCIATION. RESTRAINED JOINT LENGTHS FOR A GIVEN PRESSURE RANGE SHALL BE BASED ON THE MAXIMUM PRESSURE FOR THE TEST PRESSURE RANGE, SM (SAND SILET) 90L, 3-FEET DEPTH, LAYING CONDITION NO. 3 AND FACTOR OF SAFETY OF 1.5.
- IN-LINE VALVES: PROVIDE MECHANICAL RESTRAINT ON EACH SIDE OF THE VALVE.
- ALL RECLAIMED WATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 150 PSI. ALL WASTEWATER PIPING SHALL BE HYDROSTATICALLY TESTED AT A PRESSURE OF 100 PSI.

HORIZONTAL & VERTICAL SEPARATION REQUIREMENTS											
PROPOSED UTILITY	POTABLE WATER		RECLAIMED WATER		SANITARY SEWER (GRAVITY)		SANITARY SEWER (FORCEMAIN)		STORM WATER		ACCEPTABLE VARIANCES
	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	HORIZ.	VERT.	
POTABLE WATER	-	-	3'	12"	6'	12"	6'	12"	3'	6"	SEE GENERAL NOTES, NO. 4 & 5
RECLAIMED WATER	3'	12"	-	-	3'	12"	-	-	-	-	
SANITARY SEWER (GRAVITY)	6"	12"	3'	12"	-	-	-	-	-	-	
SANITARY SEWER (FORCEMAIN)	6"	12"	3'	12"	-	-	-	-	-	-	

GENERAL NOTES:

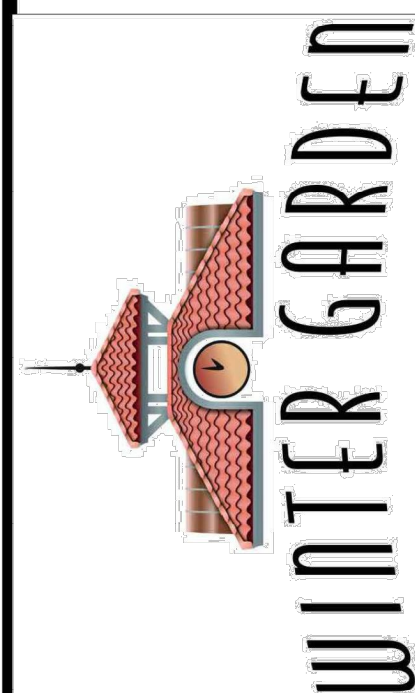
- THE TABLE REPRESENTS THE MINIMUM SEPARATION REQUIREMENTS AS DESCRIBED IN F.D.E.P. RULES OF THE FLORIDA ADMINISTRATION CODE (F.A.C.) THESE SEPARATION REQUIREMENTS SHALL APPLY BETWEEN NEWLY PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES AND EXISTING OR PROPOSED UTILITY LINES.
 - FOR THE PURPOSE OF THIS TABLE, RECLAIMED WATER SHALL MEAN UNRESTRICTED PUBLIC ACCESS REUSE WATER AS DEFINED BY F.A.C. 18B-610, CHAPTER III. OTHER TYPES OF RECLAIMED WATER ARE CONSIDERED RAW SEWAGE AND SEPARATIONS LISTED FOR SANITARY SEWER SHALL APPLY.
 - ALL SEPARATION DISTANCES ARE FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE UNLESS OTHERWISE SPECIFIED. CRITERION PRODUCING GREATER CLEARANCE SHALL BE USED.
 - A - DENOTES POTABLE WATER ABOVE RECLAIMED WATER, SANITARY SEWER OR STORM WATER; OR RECLAIMED WATER ABOVE SANITARY SEWER.
 - B - DENOTES POTABLE WATER BELOW RECLAIMED WATER, SANITARY SEWER OR STORM WATER; OR RECLAIMED WATER BELOW SANITARY SEWER.
 - UTILITY SEPARATION -- VERTICAL CLEARANCE MITIGATION
 - A. WHERE WATER AND GRAVITY SANITARY SEWER MAINS CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE OR THE SEWER MAIN IS ABOVE THE WATER MAIN, THE SANITARY SEWER WILL BE 20 FEET OF EITHER:
 - DUCTILE IRON PIPE, CENTERED ON THE POINT OF CROSSING, OR;
 - CONCRETE ENCASED VITRIFIED CLAY, OR;
 - PVC PIPE UPGRADED TO WATER MAIN STANDARDS AND PRESSURE TESTED.
 - B. WHERE WATER MAINS AND STORM SEWER PIPES CROSS WITH LESS THAN REQUIRED VERTICAL CLEARANCE, THE WATER MAIN SHALL BE 20 FEET OF DUCTILE IRON PIPE CENTERED ON THE POINT OF CROSSING.
 - D. SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
 - UTILITY SEPARATION -- HORIZONTAL SEPARATION MITIGATION
 - A. WHEN A WATER MAIN PARALLELS A GRAVITY SANITARY SEWER MAIN, A SEPARATION (MEASURED EDGE TO EDGE) OF AT LEAST SIX FEET SHOULD BE MAINTAINED, WHERE THIS SEPARATION IS NOT MET, ONE OF THE FOLLOWING MUST OCCUR:
 - THE WATER MAIN IS LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SEWER AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER MAIN IS AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER; OR
 - IF BOTH SANITARY SEWER AND POTABLE WATER MAINS ARE PROPOSED AND THE ABOVE (1.) IS NOT MET, THE SANITARY SEWER PIPES SHALL BE UPGRADED TO THE EQUIVALENT PIPE MATERIAL AS THE WATER MAIN AND PRESSURE TESTED.
 - IF THE SANITARY SEWER IS EXISTING AND THE POTABLE WATER MAIN IS PROPOSED, THE WATER MAIN SHALL, AT A MINIMUM, BE UPGRADED TO DUCTILE IRON PIPE, CONSTRUCTED IN SEPARATE TRENCHES, LAID AT A HIGHER ELEVATION THAN THE SANITARY SEWER, AND UTILIZE STAGGERED JOINTS.
 - B. SEPARATION REQUIREMENTS BETWEEN FORCE MAINS AND POTABLE WATER MAINS MUST BE MAINTAINED UNLESS APPROVED IN ADVANCE BY THE DEPARTMENT.
- NO WATER PIPE SHALL PASS THROUGH OR COME IN CONTACT WITH ANY PART OF A SANITARY OR STORM WATER MANHOLE OR STRUCTURE.

WINTER GARDEN STANDARDS INCORPORATED WITH DESIGN ENGINEERS DOCUMENTS:

THE DETAILS, NOTES AND SPECIFICATIONS SHOWN ON THIS SHEET REPRESENT THE NOTED STANDARDS OF THE CITY OF WINTER GARDEN FOR CONSTRUCTION OF PUBLIC WORKS AND UTILITY INFRASTRUCTURE. BY INCLUDING THE STANDARDS, THE DESIGN ENGINEER HAS ACKNOWLEDGED THAT THEY ARE EFFECTIVE TO THE PROJECT AND THAT DETAILS, NOTES, OR SPECIFICATIONS ARE AS PROVIDED BY THE CITY AND HAVE NOT BEEN REVISED OR MODIFIED WITHOUT WRITTEN APPROVAL FROM THE CITY ENGINEER OR UTILITY DIRECTOR.

NO.	ITEM	DATE
1	Revised General Notes	4/4/14
2	Revised Water & Sewer Notes	4/4/14

CITY OF WINTER GARDEN, FLORIDA
 STANDARDS AND SPECIFICATIONS
 For Utilities Construction



STANDARD DETAILS
 FOR
 UTILITIES SYSTEMS

